

MEMORANDUM

DATE: November 21, 2016
TO: Development Review Committee
FROM: Ashley Cornelison, Senior Planner
SUBJECT: November 29, 2016 DRC WORKSHOP

Copy: Mike Steigerwald, City Manager
Desiree Matthews, Assistant City Manager
Don Smallwood, City Attorney
Terrance Lloyd, Airport Director
Craig Holland, Development Services Director
Douglas Etheredge, Development Services/Planning
Randy Schrader, Development Services/Planning
Bob Wright, Development Services/Planning
John Hambley, Development Services/Planning
Ashley Cornelison, Development Services/Planning
Juan C. Hernandez, Development Services/Building
Juan F. Hernandez, Development Services/Building
Ryan Birks-Kilman, Public Works & Engineering
Azim Hosein, Public Works & Engineering
Jose Del Rio, Public Works & Engineering
Nabil Muhaisen, Public Works & Engineering
Jody Kirkendall, Sanitation Dept.
Jennifer Trogdon, Sanitation Dept.
Brian Kepner, Osceola County School District
Rhonda Blake, Osceola County School District
Donna Mussler, Fire Department
James Trimble, Fire Department
Matt Maassen, KUA
Steve Lackey, Parks & Recreation
Debra Fales, Parks & Recreation
Pamela Morgan, Police
Matthew Koski, Police
Jonathan Padilla, Police
Scott Reaves, Police
Jacob Mills, Police
Denise Wilson, Public Safety/911
Mark Daron, SFWMD
Ray Biron, TWA
Elizabeth George, TWA
Kevin Anthony, TWA
Richard Nasrawy, Florida Department of Transportation
Kerry Godwin, Osceola County Planning
Patrick Fisher, Development Services/Code Enforcement
Buddy Mesher, Development Services/Code Enforcement
Mark Vazquez, Development Services/Code Enforcement

Attached is the agenda for the Development Committee Workshop Meeting for **Tuesday, November 29, 2016**. The meeting will be held in the **Tohopekaliga Conference Room** located on the first floor, of City Hall, 101 Church Street, Kissimmee, beginning at 8:30 a.m. If you have any questions, feel free to contact our office at (407) 518-2140.

NEXT MEETING: December 13, 2016, DRC Meeting in the Tohopekaliga Conference Room.

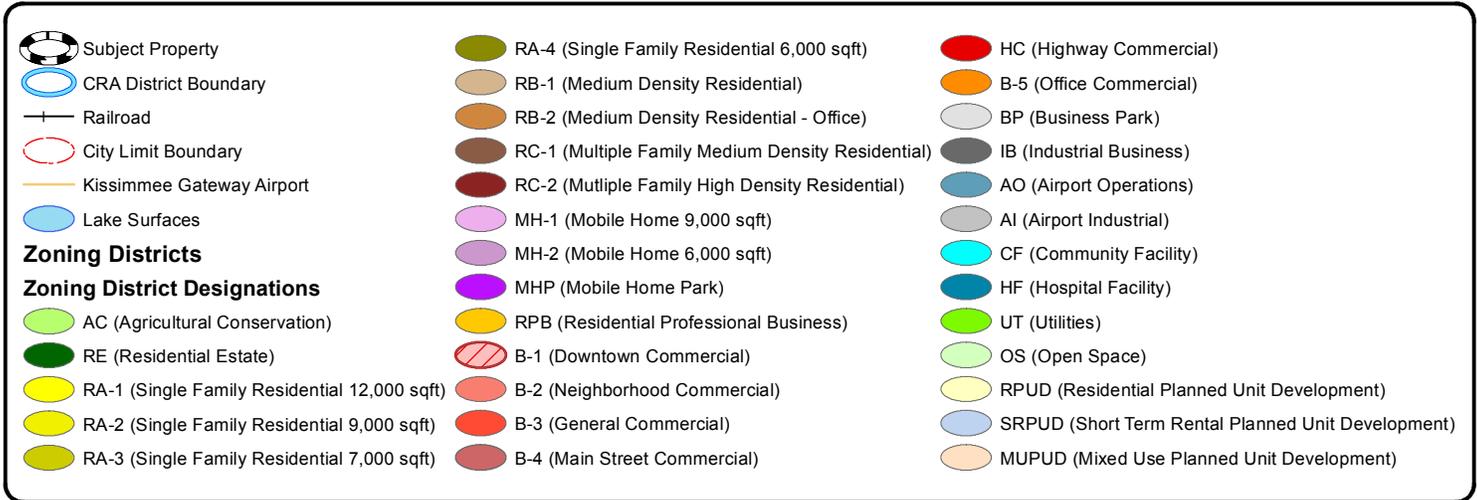
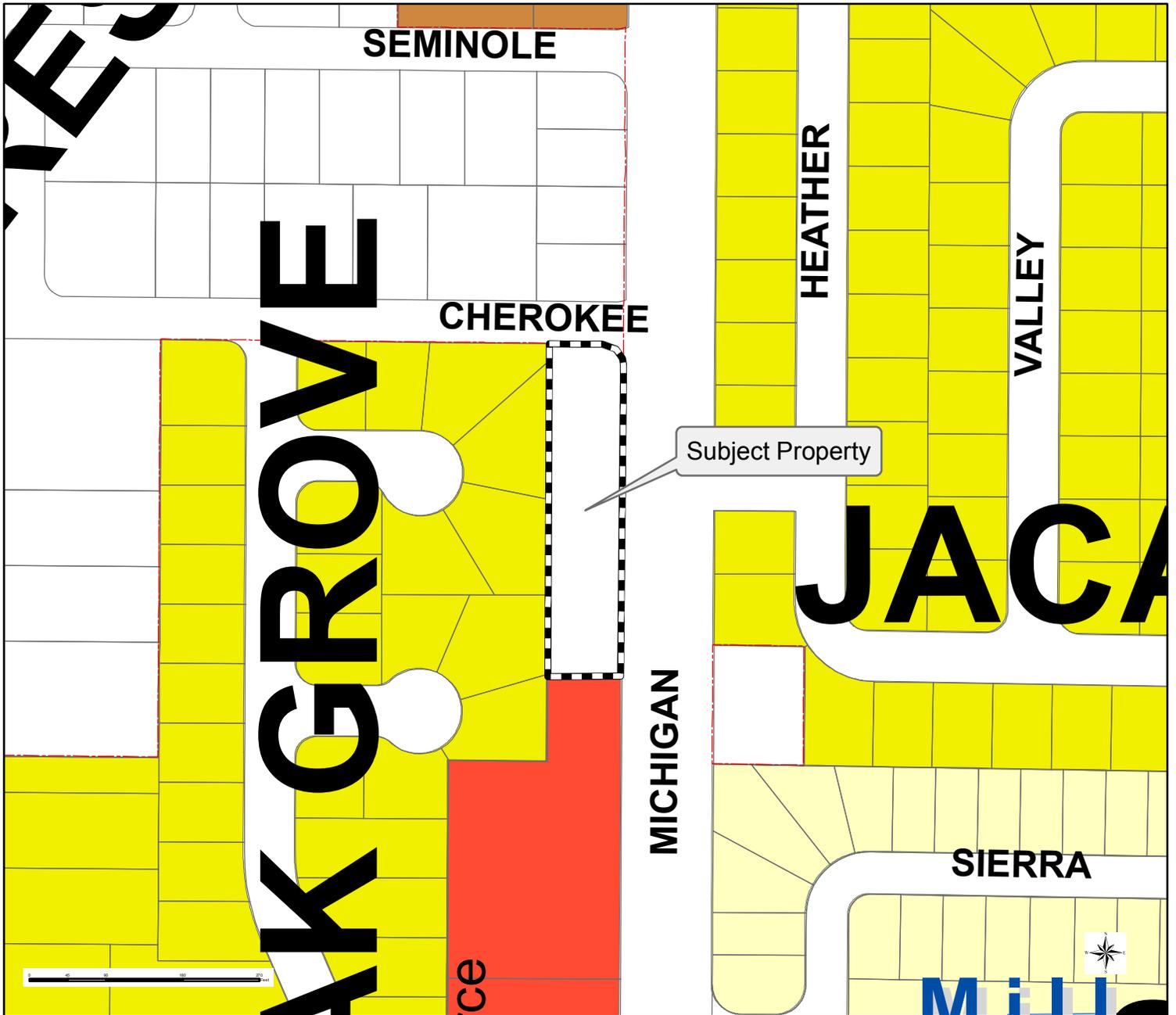


DEVELOPMENT REVIEW COMMITTEE WORKSHOP

November 29, 2016

AGENDA

Project Number	Classification	Name	Applicant	Parcel	Address	Comments
16-00156	Annexation	Neat Development	Anibal Flores	15-25-29-0000-0060-0000	2322 Michigan Ave	
16-00157	LUPA	Neat Development	Anibal Flores	15-25-29-0000-0060-0000	2322 Michigan Ave	
16-00158	Zoning Map Amendment	Neat Development	Anibal Flores	15-25-29-0000-0060-0000	2322 Michigan Ave	
16-00159	PUD Site Plan	Vineland Landings	David Stokes, P.E.	13-25-28-00U0-0140-0000, 18-25-29-00U0-0080-0000, 13-25-28-00U0-0145-0000	2015 Old Vineland Rd	
16-00160	Site Plan	SunTrust Bank at 3109 W. Vine St.	Jason Toole, P.E.	17-25-29-1361-0001-0020	3109 West Vine St	
16-00144 2 nd Review	PUD Site Plan	The Hamilton at Lakeside	Santiago Machado	16-25-29-00U0-0016-0000	0 N John Young Pkwy	





DISCLAIMER FOR ALL CITY OF KISSIMMEE DEVELOPMENT REVIEW APPLICATIONS

RECEIVED

NOV 15 2016

DEVELOPMENT SERVICES DEPT.

Important note: The Development Review process associated with this request (as outlined in the attached application) is intended to ensure that the request meets the requirements established in the City of Kissimmee Land Development Code and site development criteria for the City of Kissimmee, and other local, regional and state agencies. It is not intended to constitute approval of building construction or permits as required by external agencies.

Other processes, permits, authorizations, and/or fees may be required prior to construction of requested improvements. These may include, but are not limited to:

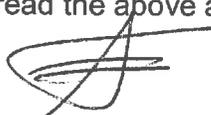
- ❖ Mobility/Impact Fees (Transportation, Water & Sewer, Recreation, School)
- ❖ Building permits and review fees
- ❖ Right-of-Way Utilization permits
- ❖ South Florida Water Management District (SFWMD) permits
- ❖ Utility permits and/or fees
- ❖ Federal Aviation Administration (FAA) authorizations
- ❖ Business Tax Receipts (BTRs)
- ❖ State Permits and/or Licenses
- ❖ Development Service Agreements (Toho Water Authority)
- ❖ Florida Department of Environmental Protection (FDEP) Permits
- ❖ NPDES Permits (Stormwater permitting)

The Agent of record and/or property owner for the attached request is responsible for coordinating with applicable agencies to ensure all requirements for the requested improvements have been met prior to construction.

Please read all information above and complete the lower portion of this disclaimer. This document must be signed by both agent and property owner and shall be included with the attached application. Failure to submit this form with the completed application will result in Staff finding the application to be insufficient for review and will delay your request.

Project Name: NEAT DEVELOPMENT DRC# 16-156

I Certify that I have read the above and understand/acknowledge the information contained therein.

Agent Signature:  Date: 10-27-2016

Agent Name (Print): ANIBAL FLORES

Property Owner Signature:  Date: 10/21/16

Property Owner Name (Print): NEST INVESTMENTS, LLC



**CITY OF KISSIMMEE
APPLICATION FOR DEVELOPMENT REVIEW**



PROJECT

Name of Project: MEAT DEVELOPMENT
 Location (Address if possible): 2322 MICHIGAN AVE., KISSIMMEE, FL 34744
 Parcel ID#: 15-25-29-0000-0060-0000

APPLICANT

Name: ANISAL FLORES
 Firm: SELF
 Address: 3730 BROOKMYRA DR., ORLANDO, FL 32837
 Phone: (321) 286-6103 Fax: () - E-Mail: ANISALFLORESF@AOL.COM

AGENT (Contact Person)

Name: ANISAL FLORES
 Firm: SELF
 Address: 3730 BROOKMYRA DR., ORLANDO, FL 34744
 Phone: (321) 286-6103 Fax: () - E-Mail: ANISALFLORESF@AOL.COM

OWNER

Name: FABIAN BANUS
 Firm: NEST INVESTMENTS, LLC.
 Address: 2050 GROWN OAK - KISSIMMEE FL 34744
 Phone: (305) 720-7784 Fax: () - E-Mail: Fbanus@hotmail.com

LEGAL DESCRIPTION/LOCATION

BEGINNING AT A POINT 100 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SECTION FIFTEEN (15), IN TOWNSHIP 25 SOUTH, RANGE 29 EAST AND RUN THENCE 140.6 FEET, THENCE RUN NORTH 391.8 FEET, THENCE RUN EAST 140.6 FEET, AND THENCE RUN SOUTH 391.8 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT PUBLIC HIGHWAY.

NOTE: Applicant will need to attend all City meetings or the request will not be considered. All requests must be accompanied by a completed application, checklist, fee, plan(s) and any other supporting materials. A sufficiency review will be conducted with 24 hours of submittal. If submittal is insufficient, the request will not be scheduled or distributed for review. Deadline submittal is 4:00 p.m., Friday, in accordance with the City of Kissimmee Schedule for DRC, PAB & City Commission. Late or incomplete submittals will not be accepted. Development Review Committee (DRC) meets every other Tuesday at 8:30 a.m.

REQUEST		FOR OFFICE USE ONLY		FEE COLLECTED	
<u>ANNEXATION</u>				<u>EXEMPT</u>	
DATE <u>11/15/2016</u>	REC'D BY <u>JA</u>	DRC # <u>16-156</u>	DRC DATE <u>12/13/2016</u>		
SUFFICIENCY REVIEW (Y/N) <u>Y</u>	PROJECT MANAGER <u>J. QUILLO</u>				



**CITY OF KISSIMMEE
ANNEXATION APPLICATION**

Project Name: NEAT DEVELOPMENT

Current Osceola County land use designation for the subject property is: RS-3, Residential

Current Osceola County zoning district designation for the subject site is: RS-3

Proposed City of Kissimmee Zoning Designation: RA-2 ~~BEAR HUNT CONDOMINIUM~~

Size (acres) of land included in the property: 0.787 Ac.

Do you propose to convert the current Osceola County land use classification for the subject property to the corresponding City land use designation, as outlined by Future Land Use Element Policy 2.9.1 of the Kissimmee Comprehensive Plan? (Circle One) **YES** NO

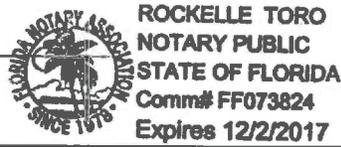
Printed Name of Owner: FABIAN BANUS Date: 10-22-2016

Signature of Owner: [Signature]

Notarization: Sworn to and subscribed before me this 22nd day of October 2016.

My commission expires: 12-02-2017

[Signature]
Notary Public/State of Florida at Large



Approximate Review Time for an Annexation Request:

Review Type	Progressive Review Time
- Submittal of Application and necessary documents (see DRC schedule for submittal dates. DRC meets every other Tuesday.)	
- Development Review Committee meeting with the applicant * - 2 weeks	2 Weeks
- 14 day notification period for advertisement - 2 weeks	4 Weeks
- Planning Advisory Board meeting - (meets every 1st & 3rd Wednesday of each month)	
- 14 day notification period for advertisement - 2 weeks	6 weeks
- First reading at City Commission meeting (meets every Tuesday)	6 Weeks
- Second and Final reading at City Commission	7 Weeks
Approximate Time of Review Total	7 - 8 Weeks*

* Estimations may vary. Dependent upon necessary revisions, resubmittals, permits and required advertisement dates.
NOTE: Applicant will need to attend all City meetings or the request will not be considered. All requests must be accompanied by a completed application, checklist, fee, plan(s) and any other supporting materials. A sufficiency review will be conducted with 24 hours of submittal. If submittal is insufficient, the request will not be scheduled or distributed for review. Deadline submittal is 4:00 p.m., Friday, in accordance with the City of Kissimmee Schedule for DRC, PAB & City Commission. Late or incomplete submittals will not be accepted. Development Review Committee (DRC) meets every other Tuesday at 8:30 a.m.



Katrina S. Scarborough, CFA, CCF, MCF
 Osceola County Property Appraiser
 www.property-appraiser.org
 Osceola County Government Center
 2505 East Irlo Bronson Memorial Hwy, Kissimmee, FL 34744
 Ph: (407) 742-5000 Fax:(407) 742-4900

Parcel: 15-25-29-0000-0060-0000



Owner Information

Owner Name NEAT INVESTMENTS LLC
Mailing Address 12651 S DIXIE HWY 321
 MIAMI, FL 33156
Physical Address 2322 MICHIGAN AVE, KISSIMMEE FL 34744
Description SINGLE FAMILY-IMPROVED
Tax District 300 - OSCEOLA COUNTY

Tax Values

Current Values		Certified Values	
Current Value represents working appraised values as of 11/14/2016, which are subject to change prior to certification		Certified Value represents certified values that appeared on the tax roll as of 10/04/2016	
Land	\$41,800	Land	\$41,800
AG Benefit	\$0	AG Benefit	\$0
Extra Features	\$8,100	Extra Features	\$8,200
Buildings	\$76,800	Buildings	\$77,400
Appraised(just)	\$126,700	Appraised(just)	\$127,400
Assessed(estimated)	\$126,700	Assessed*	\$127,400
Exemption(estimated)	\$0	Exemption	\$0
Taxable(estimated)	\$126,700	Taxable	\$127,400
* Assessed Values Reflect Adjustments for Agricultural Classification and/or the Save Our Homes Cap		* Assessed Values Reflect Adjustments for Agricultural Classification and/or the Save Our Homes Cap	

Sales Information

Seq	ORB-Pg	Price	Date	Deed Type
0	4769-2700	\$80,300	2015-04-24	WD
1	4769-2698	\$0	2005-07-04	DC
2	1231-0489	\$0	1994-12-20	QC
3	0886-0468	\$100	1988-07-29	WD

Land Information - Total Acreage: 0.78

Land Description	Units	Depth	Land Type	Land Value
RESIDENTIAL	392.00	88.00	FF	\$41,800

Extra Features

Extra Feature	Units	Year Built	Feature Value
SWIMMING POOL(IN GROUND ONLY) BELOW AVERAGE	450	1973	\$5,400
POOL DECK AVERAGE	306	1973	\$182
WOOD FENCE-6 FT HIGH AVERAGE	109	2015	\$671
CHAIN LINK FENCE-6 FT HIGH GOOD	238	2015	\$1,809

Building Information

Building 1

Description	SINGLE FAMILY	Bedrooms	
Year Built	1958	Bathrooms	1
Value	\$76,800	Fixtures	
Actual Area	2146	Roof Cover	3 METAL SHINGLE
Heated Area	2026	Exterior Wall	(1.00) 10 CONCRETE BLOCK STUCCO

Building 1 subarea

Description	Code	Year Built	Total Sketched Area
ENCLOSED PORCH FINISHED	EPF	1958	345
ENCLOSED PORCH FINISHED	EPF	2005	757
BASE AREA	BAS	1958	546
OPEN PORCH FINISHED	OPF	2005	120
ENCLOSED PORCH FINISHED	EPF	2015	378

Legal Description

Legal Description N 391.8 FT OF E 140.6 FT OF S 491.8 FT OF SE 1/4 OF NE 1/4 & LESS ELY 53 FT FOR RD R/W

Detail by Entity Name

Florida Limited Liability Company
NEAT INVESTMENTS, LLC

Filing Information

Document Number L15000025408
FEI/EIN Number APPLIED FOR
Date Filed 02/10/2015
Effective Date 02/06/2015
State FL
Status ACTIVE

Principal Address

12651 S. DIXIE HWY
321
MIAMI, FL 33156

Mailing Address

PO BOX 190297
MIAMI BEACH, FL 33139

Registered Agent Name & Address

BANUS, FABIAN
12651 S. DIXIE HWY
321
MIAMI, FL 33156

Authorized Person(s) Detail

Name & Address

Title AMBR

BANUS, FABIAN
12651 S. DIXIE HWY #321
MIAMI, FL 33156

Annual Reports

Report Year	Filed Date
2016	04/16/2016

Document Images

[04/16/2016 – ANNUAL REPORT](#) [View image in PDF format](#)

[02/10/2015 – Florida Limited Liability](#) [View image in PDF format](#)

November 15, 2016

City Of Kissimmee
101 Church Street
Kissimmee, FL 34741

RE: Property at 2322 Michigan Ave.

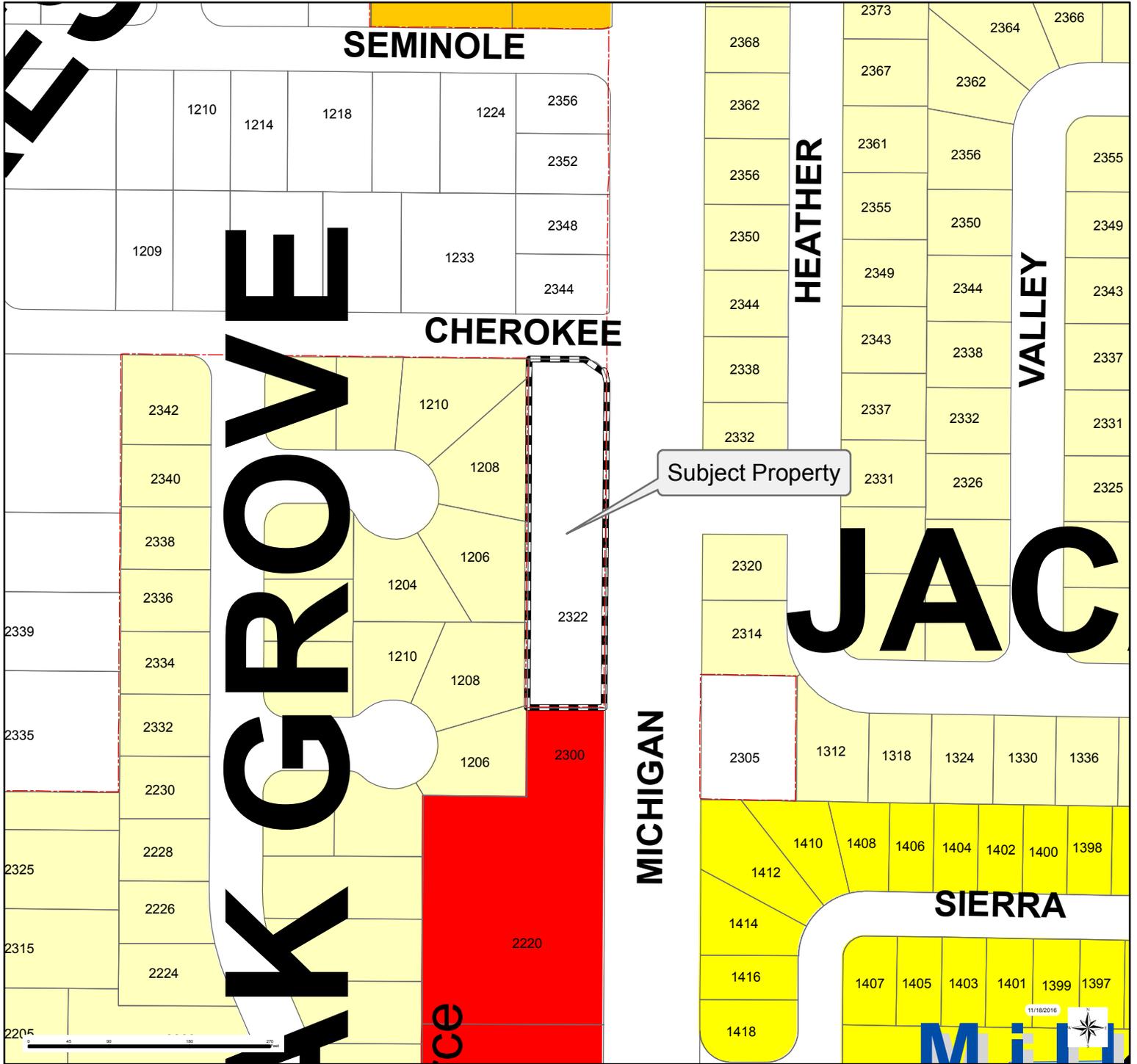
On November 15, 2015 we submitted for the subject property the following requests: Annexation, Land Use Plan Amendment and Zoning Map Amendment.

We are requesting the fees for the Land Use Plan Amendment and Zoning Map Amendment application reviews be waived.

Thank you in advanced for your considerations.



Anibal Flores
Agent for Neat Investments, LLC



Subject Property

Future Land Use Designation

SF-LDR (Single Family Low Density Residential)

SF-MDR (Single Family Medium Density Residential)

MH-MDR (Mobile Home Medium Density Residential)

MF-MDR (Multiple Family Medium Density Residential)

MF-HDR (Multiple Family High Density Residential)

OR (Office Residential)

CG (Commercial General)

Industrial Business (IN)

Airport Expansion (AE)

INST (Institutional)

UT (Utilities)

Conservation (CONS)

Recreation (REC)

MU-D (Downtown)

MU-V (Vine Street)

MU-FR (Flora Ridge)

MU-T (Tapestry)

MU-FB (Frank Brown)

City Limit Boundary

County Boundary

CRA District Boundary

Railroad

Lake Surfaces





DISCLAIMER FOR ALL CITY OF KISSIMMEE DEVELOPMENT REVIEW APPLICATIONS

RECEIVED

NOV 15 2016

8:14 AM
J.

DEVELOPMENT SERVICES DEPT.

Important note: The Development Review process associated with this request (as outlined in the attached application) is intended to ensure that the request meets the requirements established in the City of Kissimmee Land Development Code and site development criteria for the City of Kissimmee, and other local, regional and state agencies. It is not intended to constitute approval of building construction or permits as required by external agencies.

Other processes, permits, authorizations, and/or fees may be required prior to construction of requested improvements. These may include, but are not limited to:

- ❖ Mobility/Impact Fees (Transportation, Water & Sewer, Recreation, School)
- ❖ Building permits and review fees
- ❖ Right-of-Way Utilization permits
- ❖ South Florida Water Management District (SFWMD) permits
- ❖ Utility permits and/or fees
- ❖ Federal Aviation Administration (FAA) authorizations
- ❖ Business Tax Receipts (BTRs)
- ❖ State Permits and/or Licenses
- ❖ Development Service Agreements (Toho Water Authority)
- ❖ Florida Department of Environmental Protection (FDEP) Permits
- ❖ NPDES Permits (Stormwater permitting)

The Agent of record and/or property owner for the attached request is responsible for coordinating with applicable agencies to ensure all requirements for the requested improvements have been met prior to construction.

Please read all information above and complete the lower portion of this disclaimer. This document must be signed by both agent and property owner and shall be included with the attached application. Failure to submit this form with the completed application will result in Staff finding the application to be insufficient for review and will delay your request.

Project Name: NEAT DEVELOPMENT DRC# 16-157

I Certify that I have read the above and understand/acknowledge the information contained therein.

Agent Signature: [Signature] Date: 11-10-2016

Agent Name (Print): ANIBAL FLORES

Property Owner Signature: [Signature] Date: 11/5/16.

Property Owner Name (Print): FABIAN BAKUS



**CITY OF KISSIMMEE
APPLICATION FOR DEVELOPMENT REVIEW**



PROJECT

Name of Project: NEAT DEVELOPMENT
 Location (Address if possible): 2322 MICHIGAN AVE., KISSIMMEE, FL 34744
 Parcel ID#: 15-25-29-0000-0060-0000

APPLICANT

Name: ANIBAL FLORES
 Firm: SELF
 Address: 3730 BROOKMYRA DR., ORLANDO, FL 32837
 Phone: (321) 286-6103 Fax: () - E-Mail: ANIBALFLORES@AFC.COM

AGENT (Contact Person)

Name: SAME AS APPLICANT
 Firm: _____
 Address: _____
 Phone: () - Fax: () - E-Mail: _____

OWNER

Name: FABIAN BAÑOS
 Firm: NEAT INVESTMENT, L.L.C.
 Address: 2080 GREEN OAK CT., KISSIMMEE, FL 34744
 Phone: (352) 720-7784 Fax: () - E-Mail: _____

LEGAL DESCRIPTION/LOCATION

BEGINNING AT A POINT 100 FEET NORTH OF THE SE CORNER OF THE NE QUARTER OF SECTION FIFTEEN (15), 14 TOWNSHIP 25 SOUTH RANGE 29 EAST AND RUN THENCE WEST 140.6 FEET THENCE RUN NORTH 391.8 FEET THENCE RUN EAST 140.6 FEET AND THENCE RUN SOUTH 391.8 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT PUBLIC ROAD R/LW LAYING AND BEING IN ORANGE COUNTY

NOTE: Applicant will need to attend all City meetings or the request will not be considered. All requests must be accompanied by a completed application, checklist, fee, plan(s) and any other supporting materials. A sufficiency review will be conducted with 24 hours of submittal. If submittal is insufficient, the request will not be scheduled or distributed for review. Deadline submittal is 4:00 p.m., Friday, in accordance with the City of Kissimmee Schedule for DRC, PAB & City Commission. Late or incomplete submittals will not be accepted. Development Review Committee (DRC) meets every other Tuesday at 8:30 a.m.

FOR OFFICE USE ONLY			
REQUEST	<u>LUPA</u>	FEE COLLECTED	<u>EXEMPT</u>
DATE	<u>11/15/2016</u>	REC'D BY	<u>JO</u>
		DRC #	<u>16-157</u>
		DRC DATE	<u>12/13/2016</u>
SUFFICIENCY REVIEW (Y/N)	<u>Y</u>	PROJECT MANAGER	<u>J. QUILLO</u>



CITY OF KISSIMMEE
APPLICATION FOR LAND USE PLAN AMENDMENT REQUEST

Present land use designation: RESidential

Present zoning district designation: RS-3

Requested City land use designation: RA-2 Residential

What is the proposed zoning for the subject site: RA-2
(Submittal of a zoning map amendment request application is also required to be submitted with this request)

Is this submittal in conjunction with an Annexation request? (circle one) **YES** NO

Ownership: When was the deed to this property last recorded?

Date: 4-24-2015 Official Record of Deed Book 4769 Page 2700

What covenants, deed restrictions or other private agreement(s) regulate the use and development of this property?

Size (acres) of land included in the property: 0.787 Ac

State why the proposed land use change of the property would be appropriate for the property and also the surrounding areas:

The proposed land use corresponds with the
LAND USE OF SURROUNDING AREAS

I Certify that to the best of my knowledge and belief, all information supplied with this application is true and accurate, and that I am:

- Owner of the property described herein
- Party to an agreement for purchase of this property*
- An agent for the owner or purchase of this property
- Other

*Applications submitted by an applicant other than the owner of the subject property shall be accompanied by written documentation, suitable to the City Attorney, from the property owner authorizing the applicant to submit this request.

Date: 11/5/16

Printed Name: FABIAN BANUS Signature: _____

* The applicant will need to attend all city meeting or the request will not be considered. Applicant may be required to provide additional data and analysis during the review process to support this proposed land use plan amendment.

See next page for approximate timing of the review process.

Approximate Review Time for a Land Use Plan Amendment Request:



Katrina S. Scarborough, CFA, CCF, MCF
 Osceola County Property Appraiser
 www.property-appraiser.org
 Osceola County Government Center
 2505 East Irla Bronson Memorial Hwy, Kissimmee, FL 34744
 Ph: (407) 742-5000 Fax:(407) 742-4900

Parcel: 15-25-29-0000-0060-0000



Owner Information

Owner Name NEAT INVESTMENTS LLC
Mailing Address 12651 S DIXIE HWY 321
 MIAMI, FL 33156
Physical Address 2322 MICHIGAN AVE, KISSIMMEE FL 34744
Description SINGLE FAMILY-IMPROVED
Tax District 300 - OSCEOLA COUNTY

Tax Values

Current Values

Current Value represents working appraised values as of 11/14/2016, which are subject to change prior to certification

Land	\$41,800
AG Benefit	\$0
Extra Features	\$8,100
Buildings	\$76,800
Appraised(just)	\$126,700
Assessed(estimated)	\$126,700
Exemption(estimated)	\$0
Taxable(estimated)	\$126,700

* Assessed Values Reflect Adjustments for Agricultural Classification and/or the Save Our Homes Cap

Certified Values

Certified Value represents certified values that appeared on the tax roll as of 10/04/2016

Land	\$41,800
AG Benefit	\$0
Extra Features	\$8,200
Buildings	\$77,400
Appraised(just)	\$127,400
Assessed*	\$127,400
Exemption	\$0
Taxable	\$127,400

* Assessed Values Reflect Adjustments for Agricultural Classification and/or the Save Our Homes Cap

Sales Information

Seq	ORB-Pg	Price	Date	Deed Type
0	4769-2700	\$80,300	2015-04-24	WD
1	4769-2698	\$0	2005-07-04	DC
2	1231-0489	\$0	1994-12-20	QC
3	0886-0468	\$100	1988-07-29	WD

Land Information - Total Acreage: 0.78

Land Description	Units	Depth	Land Type	Land Value
RESIDENTIAL	392.00	88.00	FF	\$41,800

Extra Features

Extra Feature	Units	Year Built	Feature Value
SWIMMING POOL(IN GROUND ONLY) BELOW AVERAGE	450	1973	\$5,400
POOL DECK AVERAGE	306	1973	\$182
WOOD FENCE-6 FT HIGH AVERAGE	109	2015	\$671
CHAIN LINK FENCE-6 FT HIGH GOOD	238	2015	\$1,809

Building Information

Building 1			
Description	SINGLE FAMILY	Bedrooms	
Year Built	1958	Bathrooms	1
Value	\$76,800	Fixtures	
Actual Area	2146	Roof Cover	3 METAL SHINGLE
Heated Area	2026	Exterior Wall	(1.00) 10 CONCRETE BLOCK STUCCO

Building 1 subarea			
Description	Code	Year Built	Total Sketched Area
ENCLOSED PORCH FINISHED	EPF	1958	345
ENCLOSED PORCH FINISHED	EPF	2005	757
BASE AREA	BAS	1958	546
OPEN PORCH FINISHED	OPF	2005	120
ENCLOSED PORCH FINISHED	EPF	2015	378

Legal Description

Legal Description N 391.8 FT OF E 140.6 FT OF S 491.8 FT OF SE 1/4 OF NE 1/4 & LESS ELY 53 FT FOR RD R/W

Detail by Entity Name

Florida Limited Liability Company
NEAT INVESTMENTS, LLC

Filing Information

Document Number L15000025408
FEI/EIN Number APPLIED FOR
Date Filed 02/10/2015
Effective Date 02/06/2015
State FL
Status ACTIVE

Principal Address

12651 S. DIXIE HWY
321
MIAMI, FL 33156

Mailing Address

PO BOX 190297
MIAMI BEACH, FL 33139

Registered Agent Name & Address

BANUS, FABIAN
12651 S. DIXIE HWY
321
MIAMI, FL 33156

Authorized Person(s) Detail

Name & Address

Title AMBR

BANUS, FABIAN
12651 S. DIXIE HWY #321
MIAMI, FL 33156

Annual Reports

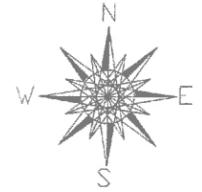
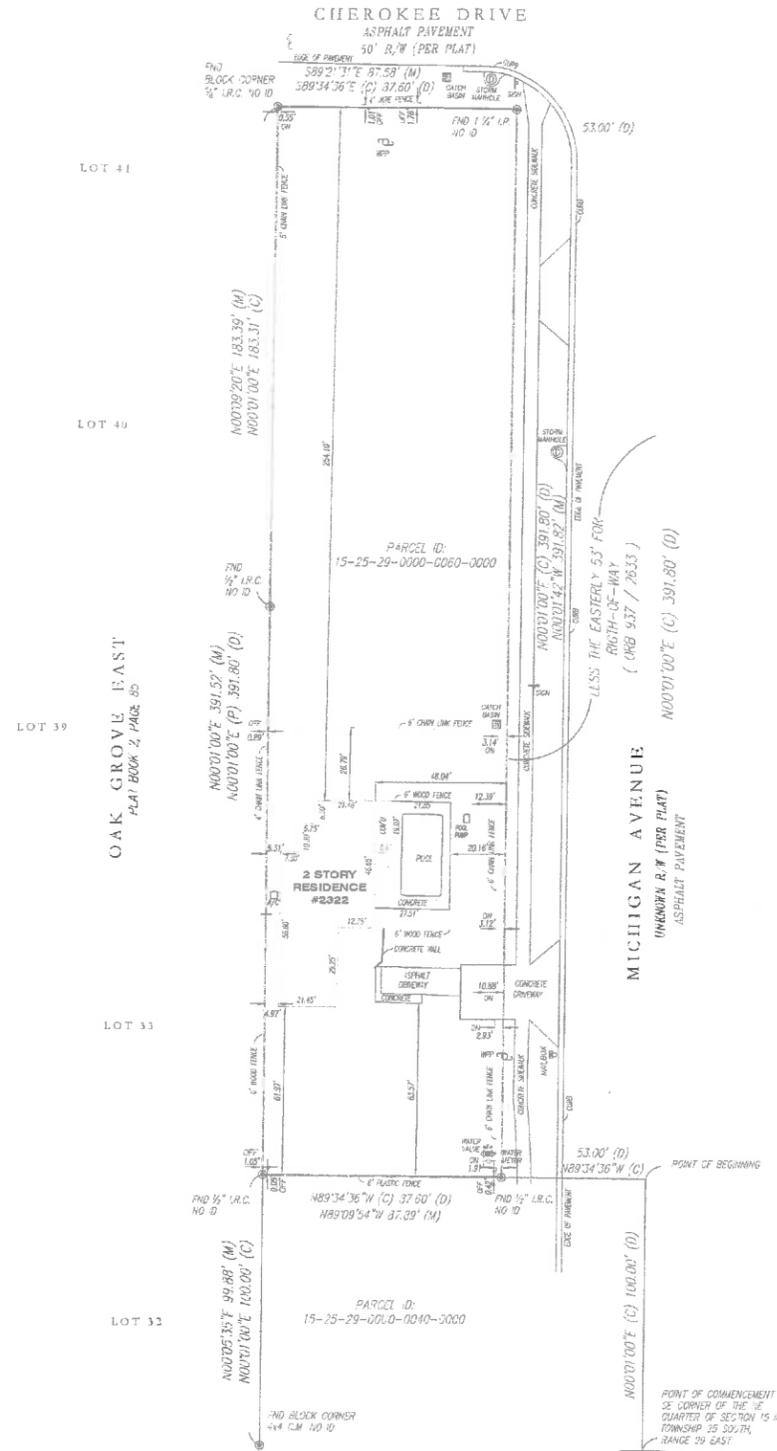
Report Year	Filed Date
2016	04/16/2016

Document Images

[04/16/2016 – ANNUAL REPORT](#) [View image in PDF format](#)

[02/10/2015 – Florida Limited Liability](#) [View image in PDF format](#)

BOUNDARY SURVEY



SCALE 1" = 30'
North per Plat

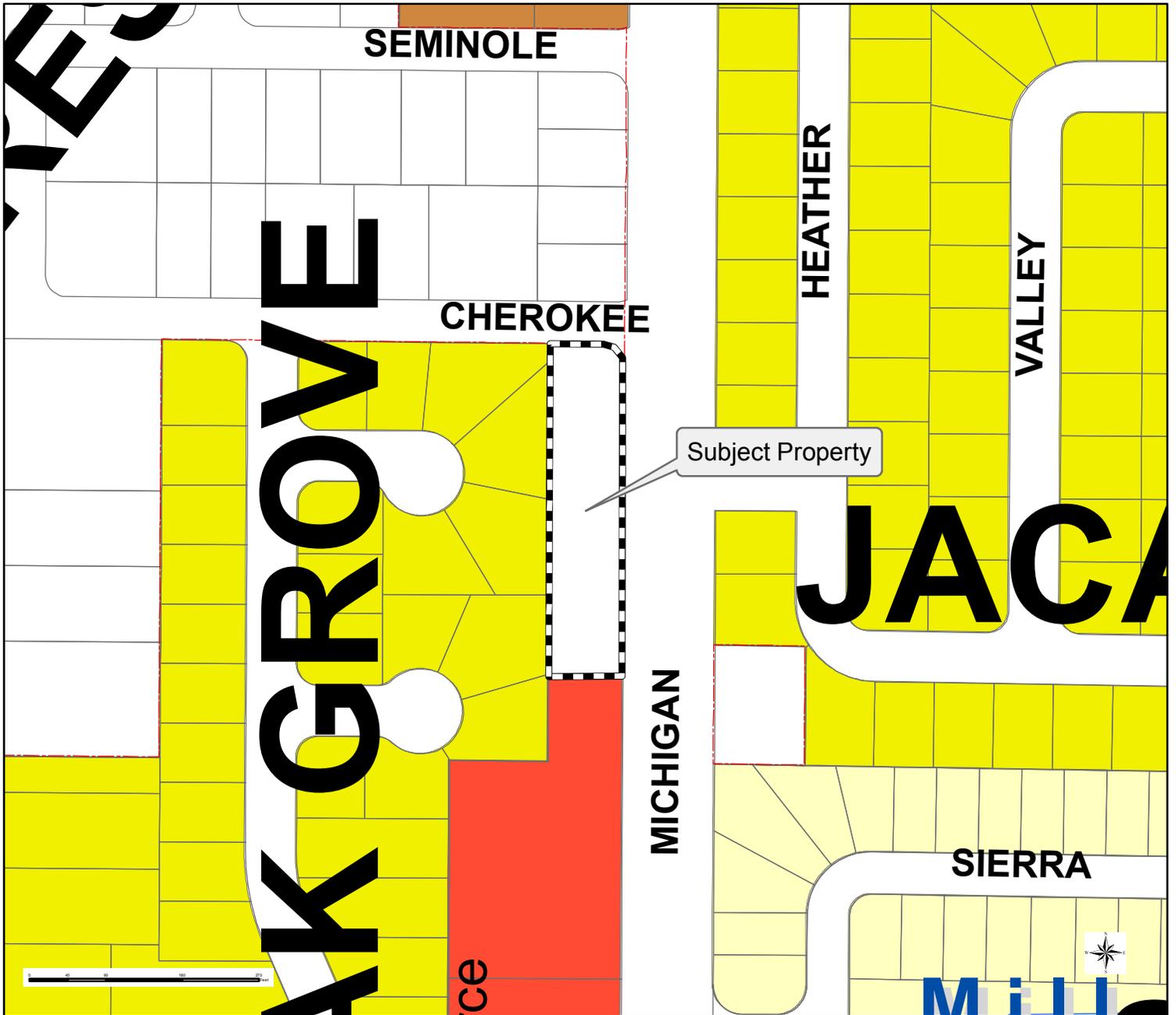
Beginning at a point 100 feet north of the southwest corner of the Northwest Quarter of Section 15 in Township 33 South, Range 29 East and run thence West 140.0 feet, thence run north 131.6 feet, thence run East 143.6 feet, and thence run South 391.8 feet to the Point of BEGINNING, less any encumbrances and right of way lying and being in Jackson County, Florida.

SURVEY NOTES

- Legal Description provided on plat.
- The field and office notes were not associated by instrument or other recorded instruments not shown on this plat.
- Underground positions of buildings, foundations or other improvements were not located.
- All ties are to the face of the wall and are not to be used as a substitute for boundary lines.
- Only visible encroachments shown.
- No verification found on property corners unless otherwise shown.
- Dimensions shown are Plat and Measured unless otherwise shown.
- Fence openings not determined.
- This survey depicted here forms a closed geometric figure to underground improvements or visible installations have been located since 10-20-2019.
- This survey is prepared for the exclusive use and benefit of the parties listed herein. Liability to third parties may not be transferred or assigned.
- Notes on this drawing may not be scale due to electronic transfer.
- This survey does not result in determining ownership. Fences, corner and building corners are witness monuments to established corners, dimensions are as shown.
- Subject to any easements, restrictions, reservations, and/or encumbrances of record to examination of Title Maps and Surveys.
- This Survey is not to be used for any other purpose.

Legend:

- 1/8" - 1/8" DASH FLOW REFLECTOR
- 1/4" - 1/4" DASH FLOW REFLECTOR
- 1/2" - 1/2" DASH FLOW REFLECTOR
- 3/4" - 3/4" DASH FLOW REFLECTOR
- 1" - 1" DASH FLOW REFLECTOR
- 1 1/2" - 1 1/2" DASH FLOW REFLECTOR
- 2" - 2" DASH FLOW REFLECTOR
- 3" - 3" DASH FLOW REFLECTOR
- 4" - 4" DASH FLOW REFLECTOR
- 5" - 5" DASH FLOW REFLECTOR
- 6" - 6" DASH FLOW REFLECTOR
- 8" - 8" DASH FLOW REFLECTOR
- 10" - 10" DASH FLOW REFLECTOR
- 12" - 12" DASH FLOW REFLECTOR
- 14" - 14" DASH FLOW REFLECTOR
- 16" - 16" DASH FLOW REFLECTOR
- 18" - 18" DASH FLOW REFLECTOR
- 20" - 20" DASH FLOW REFLECTOR
- 24" - 24" DASH FLOW REFLECTOR
- 30" - 30" DASH FLOW REFLECTOR
- 36" - 36" DASH FLOW REFLECTOR
- 42" - 42" DASH FLOW REFLECTOR
- 48" - 48" DASH FLOW REFLECTOR
- 54" - 54" DASH FLOW REFLECTOR
- 60" - 60" DASH FLOW REFLECTOR
- 72" - 72" DASH FLOW REFLECTOR
- 84" - 84" DASH FLOW REFLECTOR
- 96" - 96" DASH FLOW REFLECTOR
- 108" - 108" DASH FLOW REFLECTOR
- 120" - 120" DASH FLOW REFLECTOR
- 144" - 144" DASH FLOW REFLECTOR
- 168" - 168" DASH FLOW REFLECTOR
- 192" - 192" DASH FLOW REFLECTOR
- 216" - 216" DASH FLOW REFLECTOR
- 240" - 240" DASH FLOW REFLECTOR
- 270" - 270" DASH FLOW REFLECTOR
- 300" - 300" DASH FLOW REFLECTOR
- 360" - 360" DASH FLOW REFLECTOR
- 420" - 420" DASH FLOW REFLECTOR
- 480" - 480" DASH FLOW REFLECTOR
- 540" - 540" DASH FLOW REFLECTOR
- 600" - 600" DASH FLOW REFLECTOR
- 720" - 720" DASH FLOW REFLECTOR
- 840" - 840" DASH FLOW REFLECTOR
- 960" - 960" DASH FLOW REFLECTOR
- 1080" - 1080" DASH FLOW REFLECTOR
- 1200" - 1200" DASH FLOW REFLECTOR
- 1440" - 1440" DASH FLOW REFLECTOR
- 1680" - 1680" DASH FLOW REFLECTOR
- 1920" - 1920" DASH FLOW REFLECTOR
- 2160" - 2160" DASH FLOW REFLECTOR
- 2400" - 2400" DASH FLOW REFLECTOR
- 2700" - 2700" DASH FLOW REFLECTOR
- 3000" - 3000" DASH FLOW REFLECTOR
- 3600" - 3600" DASH FLOW REFLECTOR
- 4200" - 4200" DASH FLOW REFLECTOR
- 4800" - 4800" DASH FLOW REFLECTOR
- 5400" - 5400" DASH FLOW REFLECTOR
- 6000" - 6000" DASH FLOW REFLECTOR
- 7200" - 7200" DASH FLOW REFLECTOR
- 8400" - 8400" DASH FLOW REFLECTOR
- 9600" - 9600" DASH FLOW REFLECTOR
- 10800" - 10800" DASH FLOW REFLECTOR
- 12000" - 12000" DASH FLOW REFLECTOR
- 14400" - 14400" DASH FLOW REFLECTOR
- 16800" - 16800" DASH FLOW REFLECTOR
- 19200" - 19200" DASH FLOW REFLECTOR
- 21600" - 21600" DASH FLOW REFLECTOR
- 24000" - 24000" DASH FLOW REFLECTOR
- 27000" - 27000" DASH FLOW REFLECTOR
- 30000" - 30000" DASH FLOW REFLECTOR
- 36000" - 36000" DASH FLOW REFLECTOR
- 42000" - 42000" DASH FLOW REFLECTOR
- 48000" - 48000" DASH FLOW REFLECTOR
- 54000" - 54000" DASH FLOW REFLECTOR
- 60000" - 60000" DASH FLOW REFLECTOR
- 72000" - 72000" DASH FLOW REFLECTOR
- 84000" - 84000" DASH FLOW REFLECTOR
- 96000" - 96000" DASH FLOW REFLECTOR
- 108000" - 108000" DASH FLOW REFLECTOR
- 120000" - 120000" DASH FLOW REFLECTOR
- 144000" - 144000" DASH FLOW REFLECTOR
- 168000" - 168000" DASH FLOW REFLECTOR
- 192000" - 192000" DASH FLOW REFLECTOR
- 216000" - 216000" DASH FLOW REFLECTOR
- 240000" - 240000" DASH FLOW REFLECTOR
- 270000" - 270000" DASH FLOW REFLECTOR
- 300000" - 300000" DASH FLOW REFLECTOR
- 360000" - 360000" DASH FLOW REFLECTOR
- 420000" - 420000" DASH FLOW REFLECTOR
- 480000" - 480000" DASH FLOW REFLECTOR
- 540000" - 540000" DASH FLOW REFLECTOR
- 600000" - 600000" DASH FLOW REFLECTOR
- 720000" - 720000" DASH FLOW REFLECTOR
- 840000" - 840000" DASH FLOW REFLECTOR
- 960000" - 960000" DASH FLOW REFLECTOR
- 1080000" - 1080000" DASH FLOW REFLECTOR
- 1200000" - 1200000" DASH FLOW REFLECTOR
- 1440000" - 1440000" DASH FLOW REFLECTOR
- 1680000" - 1680000" DASH FLOW REFLECTOR
- 1920000" - 1920000" DASH FLOW REFLECTOR
- 2160000" - 2160000" DASH FLOW REFLECTOR
- 2400000" - 2400000" DASH FLOW REFLECTOR
- 2700000" - 2700000" DASH FLOW REFLECTOR
- 3000000" - 3000000" DASH FLOW REFLECTOR
- 3600000" - 3600000" DASH FLOW REFLECTOR
- 4200000" - 4200000" DASH FLOW REFLECTOR
- 4800000" - 4800000" DASH FLOW REFLECTOR
- 5400000" - 5400000" DASH FLOW REFLECTOR
- 6000000" - 6000000" DASH FLOW REFLECTOR
- 7200000" - 7200000" DASH FLOW REFLECTOR
- 8400000" - 8400000" DASH FLOW REFLECTOR
- 9600000" - 9600000" DASH FLOW REFLECTOR
- 10800000" - 10800000" DASH FLOW REFLECTOR
- 12000000" - 12000000" DASH FLOW REFLECTOR
- 14400000" - 14400000" DASH FLOW REFLECTOR
- 16800000" - 16800000" DASH FLOW REFLECTOR
- 19200000" - 19200000" DASH FLOW REFLECTOR
- 21600000" - 21600000" DASH FLOW REFLECTOR
- 24000000" - 24000000" DASH FLOW REFLECTOR
- 27000000" - 27000000" DASH FLOW REFLECTOR
- 30000000" - 30000000" DASH FLOW REFLECTOR
- 36000000" - 36000000" DASH FLOW REFLECTOR
- 42000000" - 42000000" DASH FLOW REFLECTOR
- 48000000" - 48000000" DASH FLOW REFLECTOR
- 54000000" - 54000000" DASH FLOW REFLECTOR
- 60000000" - 60000000" DASH FLOW REFLECTOR
- 72000000" - 72000000" DASH FLOW REFLECTOR
- 84000000" - 84000000" DASH FLOW REFLECTOR
- 96000000" - 96000000" DASH FLOW REFLECTOR
- 108000000" - 108000000" DASH FLOW REFLECTOR
- 120000000" - 120000000" DASH FLOW REFLECTOR
- 144000000" - 144000000" DASH FLOW REFLECTOR
- 168000000" - 168000000" DASH FLOW REFLECTOR
- 192000000" - 192000000" DASH FLOW REFLECTOR
- 216000000" - 216000000" DASH FLOW REFLECTOR
- 240000000" - 240000000" DASH FLOW REFLECTOR
- 270000000" - 270000000" DASH FLOW REFLECTOR
- 300000000" - 300000000" DASH FLOW REFLECTOR
- 360000000" - 360000000" DASH FLOW REFLECTOR
- 420000000" - 420000000" DASH FLOW REFLECTOR
- 480000000" - 480000000" DASH FLOW REFLECTOR
- 540000000" - 540000000" DASH FLOW REFLECTOR
- 600000000" - 600000000" DASH FLOW REFLECTOR
- 720000000" - 720000000" DASH FLOW REFLECTOR
- 840000000" - 840000000" DASH FLOW REFLECTOR
- 960000000" - 960000000" DASH FLOW REFLECTOR
- 1080000000" - 1080000000" DASH FLOW REFLECTOR
- 1200000000" - 1200000000" DASH FLOW REFLECTOR
- 1440000000" - 1440000000" DASH FLOW REFLECTOR
- 1680000000" - 1680000000" DASH FLOW REFLECTOR
- 1920000000" - 1920000000" DASH FLOW REFLECTOR
- 2160000000" - 2160000000" DASH FLOW REFLECTOR
- 2400000000" - 2400000000" DASH FLOW REFLECTOR
- 2700000000" - 2700000000" DASH FLOW REFLECTOR
- 3000000000" - 3000000000" DASH FLOW REFLECTOR
- 3600000000" - 3600000000" DASH FLOW REFLECTOR
- 4200000000" - 4200000000" DASH FLOW REFLECTOR
- 4800000000" - 4800000000" DASH FLOW REFLECTOR
- 5400000000" - 5400000000" DASH FLOW REFLECTOR
- 6000000000" - 6000000000" DASH FLOW REFLECTOR
- 7200000000" - 7200000000" DASH FLOW REFLECTOR
- 8400000000" - 8400000000" DASH FLOW REFLECTOR
- 9600000000" - 9600000000" DASH FLOW REFLECTOR
- 10800000000" - 10800000000" DASH FLOW REFLECTOR
- 12000000000" - 12000000000" DASH FLOW REFLECTOR
- 14400000000" - 14400000000" DASH FLOW REFLECTOR
- 16800000000" - 16800000000" DASH FLOW REFLECTOR
- 19200000000" - 19200000000" DASH FLOW REFLECTOR
- 21600000000" - 21600000000" DASH FLOW REFLECTOR
- 24000000000" - 24000000000" DASH FLOW REFLECTOR
- 27000000000" - 27000000000" DASH FLOW REFLECTOR
- 30000000000" - 30000000000" DASH FLOW REFLECTOR
- 36000000000" - 36000000000" DASH FLOW REFLECTOR
- 42000000000" - 42000000000" DASH FLOW REFLECTOR
- 48000000000" - 48000000000" DASH FLOW REFLECTOR
- 54000000000" - 54000000000" DASH FLOW REFLECTOR
- 60000000000" - 60000000000" DASH FLOW REFLECTOR
- 72000000000" - 72000000000" DASH FLOW REFLECTOR
- 84000000000" - 84000000000" DASH FLOW REFLECTOR
- 96000000000" - 96000000000" DASH FLOW REFLECTOR
- 108000000000" - 108000000000" DASH FLOW REFLECTOR
- 120000000000" - 120000000000" DASH FLOW REFLECTOR
- 144000000000" - 144000000000" DASH FLOW REFLECTOR
- 168000000000" - 168000000000" DASH FLOW REFLECTOR
- 192000000000" - 192000000000" DASH FLOW REFLECTOR
- 216000000000" - 216000000000" DASH FLOW REFLECTOR
- 240000000000" - 240000000000" DASH FLOW REFLECTOR
- 270000000000" - 270000000000" DASH FLOW REFLECTOR
- 300000000000" - 300000000000" DASH FLOW REFLECTOR
- 360000000000" - 360000000000" DASH FLOW REFLECTOR
- 420000000000" - 420000000000" DASH FLOW REFLECTOR
- 480000000000" - 480000000000" DASH FLOW REFLECTOR
- 540000000000" - 540000000000" DASH FLOW REFLECTOR
- 600000000000" - 600000000000" DASH FLOW REFLECTOR
- 720000000000" - 720000000000" DASH FLOW REFLECTOR
- 840000000000" - 840000000000" DASH FLOW REFLECTOR
- 960000000000" - 960000000000" DASH FLOW REFLECTOR
- 1080000000000" - 1080000000000" DASH FLOW REFLECTOR
- 1200000000000" - 1200000000000" DASH FLOW REFLECTOR
- 1440000000000" - 1440000000000" DASH FLOW REFLECTOR
- 1680000000000" - 1680000000000" DASH FLOW REFLECTOR
- 1920000000000" - 1920000000000" DASH FLOW REFLECTOR
- 2160000000000" - 2160000000000" DASH FLOW REFLECTOR
- 2400000000000" - 2400000000000" DASH FLOW REFLECTOR
- 2700000000000" - 2700000000000" DASH FLOW REFLECTOR
- 3000000000000" - 3000000000000" DASH FLOW REFLECTOR
- 3600000000000" - 3600000000000" DASH FLOW REFLECTOR
- 4200000000000" - 4200000000000" DASH FLOW REFLECTOR
- 4800000000000" - 4800000000000" DASH FLOW REFLECTOR
- 5400000000000" - 5400000000000" DASH FLOW REFLECTOR
- 6000000000000" - 6000000000000" DASH FLOW REFLECTOR
- 7200000000000" - 7200000000000" DASH FLOW REFLECTOR
- 8400000000000" - 8400000000000" DASH FLOW REFLECTOR
- 9600000000000" - 9600000000000" DASH FLOW REFLECTOR
- 10800000000000" - 10800000000000" DASH FLOW REFLECTOR
- 12000000000000" - 12000000000000" DASH FLOW REFLECTOR
- 14400000000000" - 14400000000000" DASH FLOW REFLECTOR
- 16800000000000" - 16800000000000" DASH FLOW REFLECTOR
- 19200000000000" - 19200000000000" DASH FLOW REFLECTOR
- 21600000000000" - 21600000000000" DASH FLOW REFLECTOR
- 24000000000000" - 24000000000000" DASH FLOW REFLECTOR
- 27000000000000" - 27000000000000" DASH FLOW REFLECTOR
- 30000000000000" - 30000000000000" DASH FLOW REFLECTOR
- 36000000000000" - 36000000000000" DASH FLOW REFLECTOR
- 42000000000000" - 42000000000000" DASH FLOW REFLECTOR
- 48000000000000" - 48000000000000" DASH FLOW REFLECTOR
- 54000000000000" - 54000000000000" DASH FLOW REFLECTOR
- 60000000000000" - 60000000000000" DASH FLOW REFLECTOR
- 72000000000000" - 72000000000000" DASH FLOW REFLECTOR
- 84000000000000" - 84000000000000" DASH FLOW REFLECTOR
- 96000000000000" - 96000000000000" DASH FLOW REFLECTOR
- 108000000000000" - 108000000000000" DASH FLOW REFLECTOR
- 120000000000000" - 120000000000000" DASH FLOW REFLECTOR
- 144000000000000" - 144000000000000" DASH FLOW REFLECTOR
- 168000000000000" - 168000000000000" DASH FLOW REFLECTOR
- 192000000000000" - 192000000000000" DASH FLOW REFLECTOR
- 216000000000000" - 216000000000000" DASH FLOW REFLECTOR
- 240000000000000" - 240000000000000" DASH FLOW REFLECTOR
- 270000000000000" - 270000000000000" DASH FLOW REFLECTOR
- 300000000000000" - 300000000000000" DASH FLOW REFLECTOR
- 360000000000000" - 360000000000000" DASH FLOW REFLECTOR
- 420000000000000" - 420000000000000" DASH FLOW REFLECTOR
- 480000000000000" - 480000000000000" DASH FLOW REFLECTOR
- 540000000000000" - 540000000000000" DASH FLOW REFLECTOR
- 600000000000000" - 600000000000000" DASH FLOW REFLECTOR
- 720000000000000" - 720000000000000" DASH FLOW REFLECTOR
- 840000000000000" - 840000000000000" DASH FLOW REFLECTOR
- 960000000000000" - 960000000000000" DASH FLOW REFLECTOR
- 1080000000000000" - 1080000000000000" DASH FLOW REFLECTOR
- 1200000000000000" - 1200000000000000" DASH FLOW REFLECTOR
- 1440000000000000" - 1440000000000000" DASH FLOW REFLECTOR
- 1680000000000000" - 1680000000000000" DASH FLOW REFLECTOR
- 1920000000000000" - 1920000000000000" DASH FLOW REFLECTOR
- 2160000000000000" - 2160000000000000" DASH FLOW REFLECTOR
- 2400000000000000" - 2400000000000000" DASH FLOW REFLECTOR
- 2700000000000000" - 2700000000000000" DASH FLOW REFLECTOR
- 3000000000000000" - 3000000000000000" DASH FLOW REFLECTOR
- 3600000000000000" - 3600000000000000" DASH FLOW REFLECTOR
- 4200000000000000" - 4200000000000000" DASH FLOW REFLECTOR
- 4800000000000000" - 4800000000000000" DASH FLOW REFLECTOR
- 5400000000000000" - 5400000000000000" DASH FLOW REFLECTOR
- 6000000000000000" - 6000000000000000" DASH FLOW REFLECTOR
- 7200000000000000" - 7200000000000000" DASH FLOW REFLECTOR
- 8400000000000000" - 8400000000000000" DASH FLOW REFLECTOR
- 9600000000000000" - 9600000000000000" DASH FLOW REFLECTOR
- 10800000000000000" - 10800000000000000" DASH FLOW REFLECTOR
- 12000000000000000" - 12000000000000000" DASH FLOW REFLECTOR
- 14400000000000000" - 14400000000000000" DASH FLOW REFLECTOR
- 16800000000000000" - 16800000000000000" DASH FLOW REFLECTOR
- 19200000000000000" - 19200000000000000" DASH FLOW REFLECTOR
- 21600000000000000" - 21600000000000000" DASH FLOW REFLECTOR
- 24000000000000000" - 24000000000000000" DASH FLOW REFLECTOR
- 27000000000000000" - 27000000000000000" DASH FLOW REFLECTOR
- 30000000000000000" - 30000000000000000" DASH FLOW REFLECTOR
- 36000000000000000" - 36000000000000000" DASH FLOW REFLECTOR
- 42000000000000000" - 42000000000000000" DASH FLOW REFLECTOR
- 48000000000000000" - 48000000000000000" DASH FLOW REFLECTOR
- 54000000000000000" - 54000000000000000" DASH FLOW REFLECTOR
- 60000000000000000" - 60000000000000000" DASH FLOW REFLECTOR
- 72000000000000000" - 72000000000000000" DASH FLOW REFLECTOR
- 84000000000000000" - 84000000000000000" DASH FLOW REFLECTOR
- 96000000000000000" - 96000000000000000" DASH FLOW REFLECTOR
- 108000000000000000" - 108000000000000000" DASH FLOW REFLECTOR
- 120000000000000000" - 120000000000000000" DASH FLOW REFLECTOR
- 144000000000000000" - 144000000000000000" DASH FLOW REFLECTOR
- 168000000000000000" - 168000000000000000" DASH FLOW REFLECTOR
- 192000000000000000" - 192000000000000000" DASH FLOW REFLECTOR
- 216000000000000000" - 216000000000000000" DASH FLOW REFLECTOR
- 240000000000000000" - 240000000000000000" DASH FLOW REFLECTOR
- 270000000000000000" - 270000000000000000" DASH FLOW REFLECTOR
- 300000000000000000" - 300000000000000000" DASH FLOW REFLECTOR
- 360000000000000000" - 360000000000000000" DASH FLOW REFLECTOR
- 420000000000000000" - 420000000000000000" DASH FLOW REFLECTOR
- 480000000000000000" - 480000000000000000" DASH FLOW REFLECTOR
- 540000000000000000" - 540000000000000000" DASH FLOW REFLECTOR
- 600000000000000000" - 600000000000000000" DASH FLOW REFLECTOR
- 720000000000000000" - 720000000000000000" DASH FLOW REFLECTOR
- 840000000000000000" - 840000000000000000" DASH FLOW REFLECTOR
- 960000000000000000" - 960000000000000000" DASH FLOW REFLECTOR
- 1080000000000000000" - 1080000000000000000" DASH FLOW REFLECTOR
- 1200000000000000000" - 1200000000000000000" DASH FLOW REFLECTOR
- 1440000000000000000" - 1440000000000000000" DASH FLOW REFLECTOR
- 1680000000000000000" - 1680000000000000000" DASH FLOW REFLECTOR
- 1920000000000000000" - 1920000000000000000" DASH FLOW REFLECTOR
- 2160000000000000000" - 2160000000000000000" DASH FLOW REFLECTOR
- 2400



Subject Property	RA-4 (Single Family Residential 6,000 sqft)	HC (Highway Commercial)
CRA District Boundary	RB-1 (Medium Density Residential)	B-5 (Office Commercial)
Railroad	RB-2 (Medium Density Residential - Office)	BP (Business Park)
City Limit Boundary	RC-1 (Multiple Family Medium Density Residential)	IB (Industrial Business)
Kissimmee Gateway Airport	RC-2 (Multiple Family High Density Residential)	AO (Airport Operations)
Lake Surfaces	MH-1 (Mobile Home 9,000 sqft)	AI (Airport Industrial)
Zoning Districts	MH-2 (Mobile Home 6,000 sqft)	CF (Community Facility)
Zoning District Designations	MHP (Mobile Home Park)	HF (Hospital Facility)
AC (Agricultural Conservation)	RPB (Residential Professional Business)	UT (Utilities)
RE (Residential Estate)	B-1 (Downtown Commercial)	OS (Open Space)
RA-1 (Single Family Residential 12,000 sqft)	B-2 (Neighborhood Commercial)	RPUD (Residential Planned Unit Development)
RA-2 (Single Family Residential 9,000 sqft)	B-3 (General Commercial)	SRPUD (Short Term Rental Planned Unit Development)
RA-3 (Single Family Residential 7,000 sqft)	B-4 (Main Street Commercial)	MUPUD (Mixed Use Planned Unit Development)



DISCLAIMER FOR ALL CITY OF KISSIMMEE DEVELOPMENT REVIEW APPLICATIONS

RECEIVED

NOV 15 2016

jk
8:19 am

DEVELOPMENT SERVICES DEPT.

Important note: The Development Review process associated with this request (as outlined in the attached application) is intended to ensure that the request meets the requirements established in the City of Kissimmee Land Development Code and site development criteria for the City of Kissimmee, and other local, regional and state agencies. It is not intended to constitute approval of building construction or permits as required by external agencies.

Other processes, permits, authorizations, and/or fees may be required prior to construction of requested improvements. These may include, but are not limited to:

- ❖ Mobility/Impact Fees (Transportation, Water & Sewer, Recreation, School)
- ❖ Building permits and review fees
- ❖ Right-of-Way Utilization permits
- ❖ South Florida Water Management District (SFWMD) permits
- ❖ Utility permits and/or fees
- ❖ Federal Aviation Administration (FAA) authorizations
- ❖ Business Tax Receipts (BTRs)
- ❖ State Permits and/or Licenses
- ❖ Development Service Agreements (Toho Water Authority)
- ❖ Florida Department of Environmental Protection (FDEP) Permits
- ❖ NPDES Permits (Stormwater permitting)

The Agent of record and/or property owner for the attached request is responsible for coordinating with applicable agencies to ensure all requirements for the requested improvements have been met prior to construction.

Please read all information above and complete the lower portion of this disclaimer. This document must be signed by both agent and property owner and shall be included with the attached application. Failure to submit this form with the completed application will result in Staff finding the application to be insufficient for review and will delay your request.

Project Name: NEAT DEVELOPMENT DRC# 16-158

I Certify that I have read the above and understand/acknowledge the information contained therein.

Agent Signature: [Signature] Date: 11/10/2016

Agent Name (Print): ANIBAL FLORES

Property Owner Signature: [Signature] Date: 11/5/16

Property Owner Name (Print): FABIAN BONUS



**CITY OF KISSIMMEE
APPLICATION FOR DEVELOPMENT REVIEW**



PROJECT

Name of Project: NEAT DEVELOPMENT
Location (Address if possible): 2322 MICHIGAN AVE, KISSIMMEE, FL 34744
Parcel ID#: 15-25-29-0000-0068-0000

APPLICANT

Name: ANIBAL FLORES
Firm: SELF
Address: 3730 BROOKLYN DR., ORLANDO, FL 32837
Phone: (321) 286-6103 Fax: () - E-Mail: ANIBALFLORES@AOL.COM

AGENT (Contact Person)

Name: SAME AS APPLICANT
Firm: _____
Address: _____
Phone: () - Fax: () - E-Mail: _____

OWNER

Name: FABIAN BAUS
Firm: NEAT INVESTMENTS, LLC
Address: 2050 GREEN OAK CT, KISSIMMEE, FL 34744
Phone: (301) 720-7784 Fax: () - E-Mail: _____

LEGAL DESCRIPTION/LOCATION

NOTE: Applicant will need to attend all City meetings or the request will not be considered. All requests must be accompanied by a completed application, checklist, fee, plan(s) and any other supporting materials. A sufficiency review will be conducted with 24 hours of submittal. If submittal is insufficient, the request will not be scheduled or distributed for review. Deadline submittal is 4:00 p.m., Friday, in accordance with the City of Kissimmee Schedule for DRC, PAB & City Commission. Late or incomplete submittals will not be accepted. Development Review Committee (DRC) meets every other Tuesday at 8:30 a.m.

REQUEST <u>EMPA</u>		FOR OFFICE USE ONLY		FEE COLLECTED <u>EXEMPT</u>	
DATE <u>11/15/2016</u>	REC'D BY <u>JG</u>	DRC # _____	DRC DATE <u>12/13/2016</u>		
SUFFICIENCY REVIEW (Y/N) <u>Y</u>		PROJECT MANAGER <u>J. QUILLO</u>			



**CITY OF KISSIMMEE
ZONING MAP AMENDMENT APPLICATION**

Project Name: NEAT DEVELOPMENT

Is subject property currently located in the City? (Circle One) YES **NO**

Current City or Osceola County zoning district designation: RS-3

Is this request in conjunction with an annexation or land use change request? (Circle One) **YES** NO

If so, what is the current land use map designation prior to the annexation or land use change:
RESIDENTIAL

What land use is proposed for the annexation or land use change: RESIDENTIAL

(A Land Use amendment application is required to be submitted if change of land use is also requested)

Requested zoning district designation: RESIDENTIAL RA-2

To be rezoned for the following specific use or uses: RA-2 SINGLE FAMILY RESIDENTIAL

Size (acres) of land included in the request: 0.787

State the reasons why the proposed zoning map change of the property would be appropriate for the property and also the surrounding areas: THE PROPOSED LAND USE CORRESPONDS WITH THE LAND USE OF SURROUNDING AREAS.

Ownership: When was the deed to this property last recorded? Date: 4-24-2015

Official Record of Deed Book: 4769 Page: 2700

What covenants, deed restrictions or other private agreement(s) regulate the use and development of this property? _____

Supportive Material Required for All Zoning Requests

Development Report: The City requires the applicant to submit a report to include findings regarding compatibility with the Comprehensive Plan, justification for the proposed amendment, location map of the subject property, and map indicating the Future Land Use and zoning designations for the subject and adjacent properties.

Additional Material Required for All Planned Unit Development Zoning Requests

Preliminary Plan: The City requires the applicant to submit a preliminary plan at an appropriate size scale. The objectives of this requirement are to ensure that the development of the property will occur according to the limitations of housing types, uses, site design, density, building coverage, improvement standards, and construction phasing. See attached preliminary plan checklist for a list of items to be included on the plans.

Ownership and Control: The applicant shall agree to the following:

- (a) *Conditions:* To proceed with the proposed development according to the provisions of the Land Development Code, the conditions attached to the rezoning of the property, and the approved preliminary

plan.

(b) *Legal Documents*: To provide agreements, contracts, covenants, deed restrictions, or sureties acceptable to the City for completion of the development according to the plans approved at the time of rezoning and for continuing operation and maintenance of such areas, functions and facilities which are not proposed to be operated or maintained at public expense or through a property owner's association.

(c) *City Review*: To bind successors in title to any of the commitments made under the above. All agreements and evidence of unified control shall be examined by City Staff, and no rezoning of land shall be adopted without a certification by the City Attorney that such agreements and evidence on unified control meet the requirements of the Land Development Code. Unified control shall be maintained for each phase until all required infrastructure improvements for the phase are completed or suitably guaranteed.

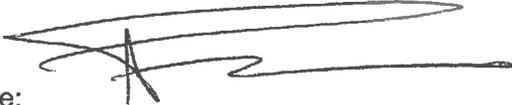
(d) *Property Owner's or Condominium Association*: The common open space shall be administered by the City or through an association or nonprofit corporation, said organization shall conform to the applicable laws of the State of Florida.

I Certify that to the best of my knowledge and belief, all information supplied with this application is true and accurate, and that I am:

- Owner of the property described herein
- Party to an agreement for purchase of this property
- An agent for the owner or purchase of this property
- Other _____

Applications submitted by an applicant other than the owner of the subject property shall be accompanied by written documentation, suitable to the City Attorney, from the property owner authorizing the applicant to submit this request.

Date: 11-5-2016

Printed Name: FABIAN BANUS Signature: 

Note: The applicant will need to attend all city meetings or the request will not be considered. Applicant may be required to provide additional data and analysis during the review process to support this proposed request. All requests must be accompanied by a completed application, checklist, fee, plan(s) and any other supporting materials. A sufficiency review will be conducted with 24 hours of submittal. If submittal is insufficient, the request will not be scheduled or distributed for review. Deadline submittal is 4:00 p.m., Friday, in accordance with the City of Kissimmee Schedule for DRC, PAB & City Commission. Late or incomplete submittals will not be accepted. Development Review Committee (DRC) meets every other Tuesday at 8:30 a.m.

Approximate Review Time for a Zoning Map Amendment Request:

Review Type	Progressive Review Time
- Submittal of Application and necessary documents (see DRC schedule for submittal dates. DRC meets every other Tuesday.)	
- Development Review Committee meeting with the applicant * - 2 weeks	2 Weeks
- 14 day notification period for advertisement - 2 weeks	4 Weeks
- Planning Advisory Board meeting - (meets every 1st & 3rd Wednesday of each month)	
- 10 day notification period for advertisement - 10 days	5 ½ Weeks
- City Commission meeting (meets every 1 st & 3 rd Tuesday)	6 Weeks
Approximate Time of Review Total	6 - 8 Weeks *

* Estimations may vary. Dependent upon necessary revisions, resubmittals, required advertisement dates, and any other required documentation.



Katrina S. Scarborough, CFA, CCF, MCF
 Osceola County Property Appraiser
 www.property-appraiser.org
 Osceola County Government Center
 2505 East Irla Bronson Memorial Hwy, Kissimmee, FL 34744
 Ph: (407) 742-5000 Fax:(407) 742-4900

Parcel: 15-25-29-0000-0060-0000



Owner Information

Owner Name	NEAT INVESTMENTS LLC
Mailing Address	12651 S DIXIE HWY 321 MIAMI, FL 33156
Physical Address	2322 MICHIGAN AVE, KISSIMMEE FL 34744
Description	SINGLE FAMILY-IMPROVED
Tax District	300 - OSCEOLA COUNTY

Tax Values

Current Values		Certified Values	
Current Value represents working appraised values as of 11/14/2016, which are subject to change prior to certification		Certified Value represents certified values that appeared on the tax roll as of 10/04/2016	
Land	\$41,800	Land	\$41,800
AG Benefit	\$0	AG Benefit	\$0
Extra Features	\$8,100	Extra Features	\$8,200
Buildings	\$76,800	Buildings	\$77,400
Appraised(just)	\$126,700	Appraised(just)	\$127,400
Assessed(estimated)	\$126,700	Assessed*	\$127,400
Exemption(estimated)	\$0	Exemption	\$0
Taxable(estimated)	\$126,700	Taxable	\$127,400
* Assessed Values Reflect Adjustments for Agricultural Classification and/or the Save Our Homes Cap		* Assessed Values Reflect Adjustments for Agricultural Classification and/or the Save Our Homes Cap	

Sales Information

Seq	ORB-Pg	Price	Date	Deed Type
0	4769-2700	\$80,300	2015-04-24	WD
1	4769-2698	\$0	2005-07-04	DC
2	1231-0489	\$0	1994-12-20	QC
3	0886-0468	\$100	1988-07-29	WD

Land Information - Total Acreage: 0.78

Land Description	Units	Depth	Land Type	Land Value
RESIDENTIAL	392.00	88.00	FF	\$41,800

Extra Features

Extra Feature	Units	Year Built	Feature Value
SWIMMING POOL(IN GROUND ONLY) BELOW AVERAGE	450	1973	\$5,400
POOL DECK AVERAGE	306	1973	\$182
WOOD FENCE-6 FT HIGH AVERAGE	109	2015	\$671
CHAIN LINK FENCE-6 FT HIGH GOOD	238	2015	\$1,809

Building Information**Building 1**

Description	SINGLE FAMILY	Bedrooms	
Year Built	1958	Bathrooms	1
Value	\$76,800	Fixtures	
Actual Area	2146	Roof Cover	3 METAL SHINGLE
Heated Area	2026	Exterior Wall	(1.00) 10 CONCRETE BLOCK STUCCO

Building 1 subarea

Description	Code	Year Built	Total Sketched Area
ENCLOSED PORCH FINISHED	EPF	1958	345
ENCLOSED PORCH FINISHED	EPF	2005	757
BASE AREA	BAS	1958	546
OPEN PORCH FINISHED	OPF	2005	120
ENCLOSED PORCH FINISHED	EPF	2015	378

Legal Description

Legal Description N 391.8 FT OF E 140.6 FT OF S 491.8 FT OF SE 1/4 OF NE 1/4 & LESS ELY 53 FT FOR RD R/W

Detail by Entity Name

Florida Limited Liability Company
NEAT INVESTMENTS, LLC

Filing Information

Document Number	L15000025408
FEI/EIN Number	APPLIED FOR
Date Filed	02/10/2015
Effective Date	02/06/2015
State	FL
Status	ACTIVE

Principal Address

12651 S. DIXIE HWY
321
MIAMI, FL 33156

Mailing Address

PO BOX 190297
MIAMI BEACH, FL 33139

Registered Agent Name & Address

BANUS, FABIAN
12651 S. DIXIE HWY
321
MIAMI, FL 33156

Authorized Person(s) Detail

Name & Address

Title AMBR

BANUS, FABIAN
12651 S. DIXIE HWY #321
MIAMI, FL 33156

Annual Reports

Report Year	Filed Date
2016	04/16/2016

Document Images

- [04/16/2016 – ANNUAL REPORT](#) View image in PDF format
- [02/10/2015 – Florida Limited Liability](#) View image in PDF format



Subject Property	RA-4 (Single Family Residential 6,000 sqft)	HC (Highway Commercial)
CRA District Boundary	RB-1 (Medium Density Residential)	B-5 (Office Commercial)
Railroad	RB-2 (Medium Density Residential - Office)	BP (Business Park)
City Limit Boundary	RC-1 (Multiple Family Medium Density Residential)	IB (Industrial Business)
Kissimmee Gateway Airport	RC-2 (Multiple Family High Density Residential)	AO (Airport Operations)
Lake Surfaces	MH-1 (Mobile Home 9,000 sqft)	AI (Airport Industrial)
Zoning Districts	MH-2 (Mobile Home 6,000 sqft)	CF (Community Facility)
Zoning District Designations	MHP (Mobile Home Park)	HF (Hospital Facility)
AC (Agricultural Conservation)	RPB (Residential Professional Business)	UT (Utilities)
RE (Residential Estate)	B-1 (Downtown Commercial)	OS (Open Space)
RA-1 (Single Family Residential 12,000 sqft)	B-2 (Neighborhood Commercial)	RPUD (Residential Planned Unit Development)
RA-2 (Single Family Residential 9,000 sqft)	B-3 (General Commercial)	SRPUD (Short Term Rental Planned Unit Development)
RA-3 (Single Family Residential 7,000 sqft)	B-4 (Main Street Commercial)	MUPUD (Mixed Use Planned Unit Development)

Plans Associated with

DRC#: 16-00159

Project Name: Vineland Landings

Project Type: PUD Site Plan

The following plan(s) are for review in conjunction with the DRC backup (agenda, application, vicinity map, etc) that was recently e-mailed to you.



**CITY OF KISSIMMEE
APPLICATION FOR DEVELOPMENT REVIEW**



PROJECT

Name of Project: Vineland Landings
Location (Address if possible): OLD VINELAND RD, KISSIMMEE FL 34746
Parcel ID#: 13-25-28-00U0-0140-0000

APPLICANT

Name: W. Scott Culp, Manager
Firm: Southern Investment Group, LLLP
Address: 200 East Canton Avenue, Suite 102, Winter Park, FL 32789
Phone: (407) 741-8666 Fax: () - E-Mail: M.Gauthier@atlantichousing.com

AGENT (Contact Person)

Name: David A. Stokes, P.E.
Firm: Madden, Moorhead & Stokes, Inc.
Address: 431 E. Horatio Ave., Ste. 260, Maitland, FL 32751
Phone: (407) 629-8330 Fax: () - E-Mail: dstokes@madden-eng.com

OWNER

Name: CHARLES H CORDES
Firm: SHIPWATCH KISSIMMEE I LLC
Address: 782 SHIPWATCH DRIVE EAST, JACKSONVILLE, FL 32225
Phone: (407) 456-1262 Fax: () - E-Mail: charles.cordes@gmail.com

LEGAL DESCRIPTION/LOCATION

See survey.

NOTE: Applicant will need to attend all City meetings or the request will not be considered. All requests must be accompanied by a completed application, checklist, fee, plan(s) and any other supporting materials. A sufficiency review will be conducted with 24 hours of submittal. If submittal is insufficient, the request will not be scheduled or distributed for review. Deadline submittal is 4:00 p.m., Friday, in accordance with the City of Kissimmee Schedule for DRC, PAB & City Commission. Late or incomplete submittals will not be accepted. Development Review Committee (DRC) meets every other Tuesday at 8:30 a.m.

FOR OFFICE USE ONLY			
REQUEST <u>PUD SITE PLAN</u>		FEE COLLECTED <u>Y</u>	
DATE <u>11/17/2016</u>	REC'D BY <u>[Signature]</u>	DRC # <u>16-159</u>	DRC DATE <u>12/13/2016</u>
SUFFICIENCY REVIEW (Y/N) <u>Y</u>	PROJECT MANAGER <u>A. CORNELISON</u>		



DISCLAIMER FOR ALL CITY OF KISSIMMEE DEVELOPMENT REVIEW APPLICATIONS

Important note: The Development Review process associated with this request (as outlined in the attached application) is intended to ensure that the request meets the requirements established in the City of Kissimmee Land Development Code and site development criteria for the City of Kissimmee, and other local, regional and state agencies. It is not intended to constitute approval of building construction or permits as required by external agencies.

Other processes, permits, authorizations, and/or fees may be required prior to construction of requested improvements. These may include, but are not limited to:

- ❖ Mobility/Impact Fees (Transportation, Water & Sewer, Recreation, School)
- ❖ Building permits and review fees
- ❖ Right-of-Way Utilization permits
- ❖ South Florida Water Management District (SFWMD) permits
- ❖ Utility permits and/or fees
- ❖ Federal Aviation Administration (FAA) authorizations
- ❖ Business Tax Receipts (BTRs)
- ❖ State Permits and/or Licenses
- ❖ Development Service Agreements (Toho Water Authority)
- ❖ Florida Department of Environmental Protection (FDEP) Permits
- ❖ NPDES Permits (Stormwater permitting)

The Agent of record and/or property owner for the attached request is responsible for coordinating with applicable agencies to ensure all requirements for the requested improvements have been met prior to construction.

Please read all information above and complete the lower portion of this disclaimer. This document must be signed by both agent and property owner and shall be included with the attached application. Failure to submit this form with the completed application will result in Staff finding the application to be insufficient for review and will delay your request.

Project Name: Vineland Landings DRC# 16-159

I Certify that I have read the above and understand/acknowledge the information contained therein.

Agent Signature: [Signature] Date: 11/17/2016

Agent Name (Print): Southern Investment Group, LLLP, a Florida limited liability limited partnership
By: Southern Investment Group Managers, LLC, a Florida limited liability company, its general partner
W. Scott Culp, Manager

Property Owner Signature: [Signature] Date: Nov 15, 2016

Property Owner Name (Print): CHARLES H CORDES



CITY OF KISSIMMEE DEVELOPMENT SERVICES SITE PLAN AND SITE SPECIFIC REDEVELOPMENT PLAN REVIEW CRITERIA CHECKLIST

Project Name: Vineland Landings

Subject Property Address: OLD VINELAND RD, KISSIMMEE FL 34746

Subject Property Parcel ID #: 13-25-28-00U0-0140-0000

Site Plan review requires 15 – 24"x36" black or blue line prints to include the following criteria below to be shown on submitted site plans and accompanying maps, drawn to a scale no smaller than 1-inch = 100-feet, and prepared by the appropriate combination of qualified professionals. (NOTE: Site Development Construction plans shall be prepared by a civil engineer licensed by the State of Florida). Please include this site plan review checklist in addition to other required submittals to the Development Services Department Planning Division. Indicate (NA) for items that are not applicable to the review. 2 copies of conceptual building elevations will need to accompany this checklist if Site Specific Redevelopment Plan is requested.

Note: All submittals shall be accompanied by PDFs of all submittal documents, submitted via email or CD-ROM

General Information

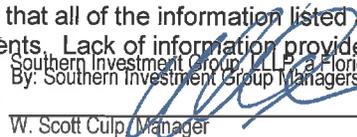
- Owner and Professional Agent:* The name, address, and phone number of the owner and the professional agent.
- Location Map:* Map indicating the location of the proposed development in relation to surrounding streets, and existing zoning and land use on adjacent land.
- Traffic:* For larger projects, any data or analysis the City may require to supplement concurrency review.
- Intent of use or development:* Statement of objectives, general proposed, and the proposed use(s) to be accommodated within the proposed project.
- Land Use and Zoning Designations:* Comprehensive Plan Future Land Use and Zoning Map Designations for the subject site and adjacent properties.
- Density and/or Intensity:* Project acreage, density by dwelling unit type; types of non-residential uses and their gross floor areas.
- Legal Description:* The subject site's legal description.
- Topo and Boundary Survey:* A signed and sealed topography and boundary survey of the subject site.
- Phasing:* If any, including the time, rationale, density and other impacts on public facilities, by phase.

Existing and Proposed Site Improvements

- Structures:* Location of existing and proposed structures (including structures located within 25-feet of the property line) plus approximate building dimensions, building height, setbacks, square footage, finish floor elevations, proposed uses and whether sprinkler systems are proposed.
- Dedications Rights-of-Way and Easements:* On-site and adjacent dedications, rights-of-way and easements.
- Streets, Circulation, & Parking:* Existing and proposed streets, pedestrian and bike path, parking areas and driveways, including any connections to off-site facilities within 25-feet; location and dimensions of access points; location and number of required and provided parking spaces and loading spaces, including parking requirement data and dimensions, handicapped parking, access aisle, ramps, signage; curbing; and existing and proposed turn lanes.
- Walls:* Location of existing and proposed walls, fences, and entrance features, and their height, type and size.

- ✓ Utilities: Existing and conceptual utility layout, including water, sewer, gas and on-site lighting; connections to off-site facilities within 25-feet.
- ✓ Signs: Conceptual type, size, height and locations of all site identification signage.
- ✓ Conceptual Landscape and Irrigation Plan: Plan showing type and location of natural vegetation to be preserved and to be removed, location of proposed landscape and buffer areas in accordance with the City Code and City Plant List, sight triangles, and proposed landscaping and buffering concept (including approximate location of proposed walls, berms, hedges, and trees), drawn to the same scale as the site plan.
- ✓ Open Space: Location, percentages, and purpose of open space and impervious areas, including any proposed recreation area and amenities.
- ✓ Slopes: Unusual grading affecting relationship of building shall be shown on a preliminary grading plan.
- ✓ Drainage: Direction of stormwater flow and method of disposition of surface drainage (including retention/detention areas), including location of any existing stormwater facilities within 25-feet of the property.
- ✓ Fire Protection: Existing and conceptual location of fire hydrants, fire lanes and fire engine accessibility.
- ✓ Solid Waste: Garbage storage provisions, including full enclosure, a minimum of 6-feet in height and constructed in like manner of the building.
- NA Soils: Soil conditions and muck depths (where applicable) based upon the Soil Survey of Osceola County.
- ✓ Flooding, Wetlands and Other Environmentally Sensitive Lands: 100-year floodplain and floodway boundaries; location of any wetlands, wellfield protection areas and other environmentally sensitive areas, including the soil and vegetation basis for such a determination.

I certify that all of the information listed above has been provided if applicable on the site plan and/or accompanying documents. Lack of information provided may constitute as an incomplete submittal, thus delaying the review process.



 Signed: _____ Date: 11/17/2016

Please Note: The list is provided to ensure that all site plans submitted are uniform and contained the minimum information required for review under Section 14-2-191 of the City of Kissimmee Land Development Code. It is not intended to be an inclusive list of all ordinance requirements. Please direct questions concerning site plan review to the City of Kissimmee Development Services Department at (407)518-2140.

Approximate Review Time for a Site Plan Request:

Review Type	Progressive Review Time
- Submittal of Application and necessary documents (see DRC schedule for submittal dates. DRC meets every other Tuesday.)	
- Development Review Committee meeting with the applicant - 2 weeks	2 Weeks
- Submittal Site Development Plans**	
- Preliminary Site Development Review (Construction Plans) – 3 weeks	5 Weeks
- Resubmittal of Site Development Plans	
- Final Site Development Review (Construction Plans) *** - 3 weeks	8 Weeks
- Development Order Issued	
Approximate Time of Review Total	8 - 10 Weeks

Estimation does not include review time for additional DRC reviews, PUD Site Plan, and Minor Site Plan requests. Estimations may vary. Dependent upon necessary revisions, resubmittals, permits and any other required documentation. ** Process does not include building construction plan. See Building Division for submittal requirements. *** Dependent upon if all preliminary site development comments have been addressed and revised.
11/20/09

SHIPWATCH KISSIMMEE I, LLC
782 SHIPWATCH DRIVE EAST
JACKSONVILLE, FL 32225

November 14, 2016

City of Kissimmee
Development Services Department
101 Church St.
Kissimmee, FL 34741

RE: Agent Authorization – Vineland Landings

Dear Sir or Madam:

I, CHARLES H. CORDES, hereby authorize Southern Investment Group, L.L.P., and any consultants contracted to perform such work, to pursue any processes necessary with the City of Kissimmee to obtain Construction Plan and PD Site Plan approvals on the property located at 2015 Old Vineland Road, Parcel ID's #18-25-29-00U0-0080-0000, #13-25-28-00U0-0145-0000, and #13-25-28-00U0-0140-0000, Kissimmee, Florida.

Please feel free to contact me at (407) 456-1262 with any questions.

Sincerely,



Charles H. Cordes
Manager
Shipwatch Kissimmee 1, L.L.C.

STATE OF FLORIDA
COUNTY OF DUVAL

Subscribed and sworn to (or affirmed) before me this 15th day of NOV., 2016 by
CHARLES H. CORDES. Personally known to me or produced _____ identification.

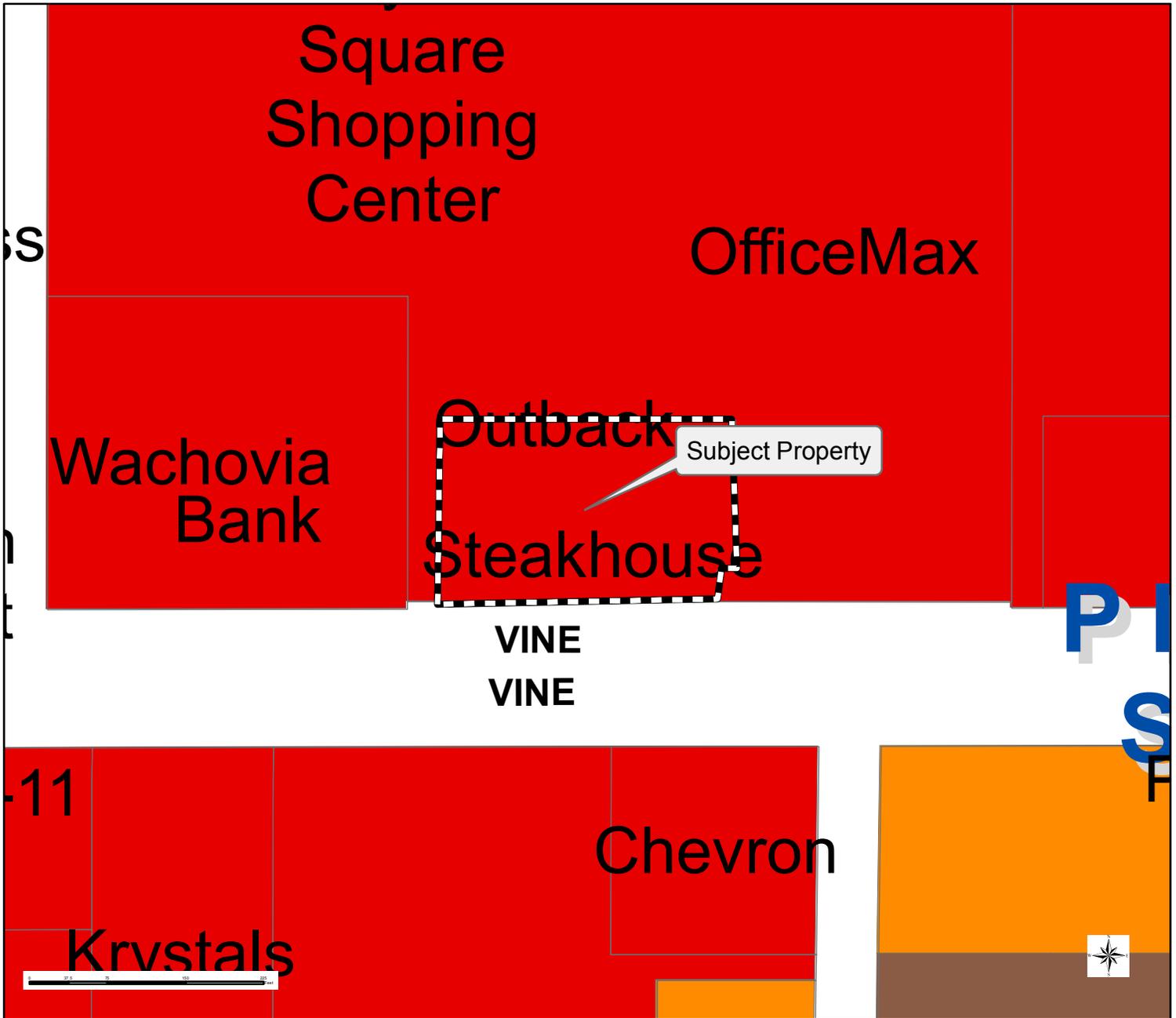


Notary Public

My Commission Expires 7/13/2020



Alison West
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG011587
Expires 7/13/2020



Subject Property	RA-4 (Single Family Residential 6,000 sqft)	HC (Highway Commercial)
CRA District Boundary	RB-1 (Medium Density Residential)	B-5 (Office Commercial)
Railroad	RB-2 (Medium Density Residential - Office)	BP (Business Park)
City Limit Boundary	RC-1 (Multiple Family Medium Density Residential)	IB (Industrial Business)
Kissimmee Gateway Airport	RC-2 (Multiple Family High Density Residential)	AO (Airport Operations)
Lake Surfaces	MH-1 (Mobile Home 9,000 sqft)	AI (Airport Industrial)
Zoning Districts	MH-2 (Mobile Home 6,000 sqft)	CF (Community Facility)
Zoning District Designations	MHP (Mobile Home Park)	HF (Hospital Facility)
AC (Agricultural Conservation)	RPB (Residential Professional Business)	UT (Utilities)
RE (Residential Estate)	B-1 (Downtown Commercial)	OS (Open Space)
RA-1 (Single Family Residential 12,000 sqft)	B-2 (Neighborhood Commercial)	RPUD (Residential Planned Unit Development)
RA-2 (Single Family Residential 9,000 sqft)	B-3 (General Commercial)	SRPUD (Short Term Rental Planned Unit Development)
RA-3 (Single Family Residential 7,000 sqft)	B-4 (Main Street Commercial)	MUPUD (Mixed Use Planned Unit Development)

Plans Associated with

DRC#: 16-00160

Project Name: SunTrust Bank at 3109 W. Vine Street

Project Type: Site Plan

The following plan(s) are for review in conjunction with the DRC backup (agenda, application, vicinity map, etc) that was recently e-mailed to you.



**CITY OF KISSIMMEE
APPLICATION FOR DEVELOPMENT REVIEW**



PROJECT

Name of Project: Vineland Landings
Location (Address if possible): OLD VINELAND RD, KISSIMMEE FL 34746
Parcel ID#: 13-25-28-00U0-0140-0000

APPLICANT

Name: W. Scott Culp, Manager
Firm: Southern Investment Group, LLLP
Address: 200 East Canton Avenue, Suite 102, Winter Park, FL 32789
Phone: (407) 741-8666 Fax: () - E-Mail: M.Gauthier@atlantichousing.com

AGENT (Contact Person)

Name: David A. Stokes, P.E.
Firm: Madden, Moorhead & Stokes, Inc.
Address: 431 E. Horatio Ave., Ste. 260, Maitland, FL 32751
Phone: (407) 629-8330 Fax: () - E-Mail: dstokes@madden-eng.com

OWNER

Name: CHARLES H CORDES
Firm: SHIPWATCH KISSIMMEE I LLC
Address: 782 SHIPWATCH DRIVE EAST, JACKSONVILLE, FL 32225
Phone: (407) 456-1262 Fax: () - E-Mail: charles.cordes@gmail.com

LEGAL DESCRIPTION/LOCATION

See survey.

NOTE: Applicant will need to attend all City meetings or the request will not be considered. All requests must be accompanied by a completed application, checklist, fee, plan(s) and any other supporting materials. A sufficiency review will be conducted with 24 hours of submittal. If submittal is insufficient, the request will not be scheduled or distributed for review. Deadline submittal is 4:00 p.m., Friday, in accordance with the City of Kissimmee Schedule for DRC, PAB & City Commission. Late or incomplete submittals will not be accepted. Development Review Committee (DRC) meets every other Tuesday at 8:30 a.m.

FOR OFFICE USE ONLY			
REQUEST <u>PUD SITE PLAN</u>		FEE COLLECTED <u>Y</u>	
DATE <u>11/17/2016</u>	REC'D BY <u>[Signature]</u>	DRC # <u>16-159</u>	DRC DATE <u>12/13/2016</u>
SUFFICIENCY REVIEW (Y/N) <u>Y</u>	PROJECT MANAGER <u>A. CORNELISON</u>		



DISCLAIMER FOR ALL CITY OF KISSIMMEE DEVELOPMENT REVIEW APPLICATIONS

Important note: The Development Review process associated with this request (as outlined in the attached application) is intended to ensure that the request meets the requirements established in the City of Kissimmee Land Development Code and site development criteria for the City of Kissimmee, and other local, regional and state agencies. It is not intended to constitute approval of building construction or permits as required by external agencies.

Other processes, permits, authorizations, and/or fees may be required prior to construction of requested improvements. These may include, but are not limited to:

- ❖ Mobility/Impact Fees (Transportation, Water & Sewer, Recreation, School)
- ❖ Building permits and review fees
- ❖ Right-of-Way Utilization permits
- ❖ South Florida Water Management District (SFWMD) permits
- ❖ Utility permits and/or fees
- ❖ Federal Aviation Administration (FAA) authorizations
- ❖ Business Tax Receipts (BTRs)
- ❖ State Permits and/or Licenses
- ❖ Development Service Agreements (Toho Water Authority)
- ❖ Florida Department of Environmental Protection (FDEP) Permits
- ❖ NPDES Permits (Stormwater permitting)

The Agent of record and/or property owner for the attached request is responsible for coordinating with applicable agencies to ensure all requirements for the requested improvements have been met prior to construction.

Please read all information above and complete the lower portion of this disclaimer. This document must be signed by both agent and property owner and shall be included with the attached application. Failure to submit this form with the completed application will result in Staff finding the application to be insufficient for review and will delay your request.

Project Name: Vineland Landings DRC# 16-159

I Certify that I have read the above and understand/acknowledge the information contained therein.

Agent Signature: [Signature] Date: 11/17/2016

Agent Name (Print): Southern Investment Group, LLLP, a Florida limited liability limited partnership
By: Southern Investment Group Managers, LLC, a Florida limited liability company, its general partner
W. Scott Culp, Manager

Property Owner Signature: [Signature] Date: Nov 15, 2016

Property Owner Name (Print): CHARLES H CORDES



CITY OF KISSIMMEE DEVELOPMENT SERVICES SITE PLAN AND SITE SPECIFIC REDEVELOPMENT PLAN REVIEW CRITERIA CHECKLIST

Project Name: Vineland Landings

Subject Property Address: OLD VINELAND RD, KISSIMMEE FL 34746

Subject Property Parcel ID #: 13-25-28-00U0-0140-0000

Site Plan review requires 15 – 24"x36" black or blue line prints to include the following criteria below to be shown on submitted site plans and accompanying maps, drawn to a scale no smaller than 1-inch = 100-feet, and prepared by the appropriate combination of qualified professionals. (NOTE: Site Development Construction plans shall be prepared by a civil engineer licensed by the State of Florida). Please include this site plan review checklist in addition to other required submittals to the Development Services Department Planning Division. Indicate (NA) for items that are not applicable to the review. 2 copies of conceptual building elevations will need to accompany this checklist if Site Specific Redevelopment Plan is requested.

Note: All submittals shall be accompanied by PDFs of all submittal documents, submitted via email or CD-ROM

General Information

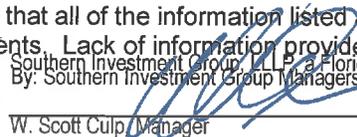
- Owner and Professional Agent:* The name, address, and phone number of the owner and the professional agent.
- Location Map:* Map indicating the location of the proposed development in relation to surrounding streets, and existing zoning and land use on adjacent land.
- Traffic:* For larger projects, any data or analysis the City may require to supplement concurrency review.
- Intent of use or development:* Statement of objectives, general proposed, and the proposed use(s) to be accommodated within the proposed project.
- Land Use and Zoning Designations:* Comprehensive Plan Future Land Use and Zoning Map Designations for the subject site and adjacent properties.
- Density and/or Intensity:* Project acreage, density by dwelling unit type; types of non-residential uses and their gross floor areas.
- Legal Description:* The subject site's legal description.
- Topo and Boundary Survey:* A signed and sealed topography and boundary survey of the subject site.
- Phasing:* If any, including the time, rationale, density and other impacts on public facilities, by phase.

Existing and Proposed Site Improvements

- Structures:* Location of existing and proposed structures (including structures located within 25-feet of the property line) plus approximate building dimensions, building height, setbacks, square footage, finish floor elevations, proposed uses and whether sprinkler systems are proposed.
- Dedications Rights-of-Way and Easements:* On-site and adjacent dedications, rights-of-way and easements.
- Streets, Circulation, & Parking:* Existing and proposed streets, pedestrian and bike path, parking areas and driveways, including any connections to off-site facilities within 25-feet; location and dimensions of access points; location and number of required and provided parking spaces and loading spaces, including parking requirement data and dimensions, handicapped parking, access aisle, ramps, signage; curbing; and existing and proposed turn lanes.
- Walls:* Location of existing and proposed walls, fences, and entrance features, and their height, type and size.

- ✓ Utilities: Existing and conceptual utility layout, including water, sewer, gas and on-site lighting; connections to off-site facilities within 25-feet.
- ✓ Signs: Conceptual type, size, height and locations of all site identification signage.
- ✓ Conceptual Landscape and Irrigation Plan: Plan showing type and location of natural vegetation to be preserved and to be removed, location of proposed landscape and buffer areas in accordance with the City Code and City Plant List, sight triangles, and proposed landscaping and buffering concept (including approximate location of proposed walls, berms, hedges, and trees), drawn to the same scale as the site plan.
- ✓ Open Space: Location, percentages, and purpose of open space and impervious areas, including any proposed recreation area and amenities.
- ✓ Slopes: Unusual grading affecting relationship of building shall be shown on a preliminary grading plan.
- ✓ Drainage: Direction of stormwater flow and method of disposition of surface drainage (including retention/detention areas), including location of any existing stormwater facilities within 25-feet of the property.
- ✓ Fire Protection: Existing and conceptual location of fire hydrants, fire lanes and fire engine accessibility.
- ✓ Solid Waste: Garbage storage provisions, including full enclosure, a minimum of 6-feet in height and constructed in like manner of the building.
- NA Soils: Soil conditions and muck depths (where applicable) based upon the Soil Survey of Osceola County.
- ✓ Flooding, Wetlands and Other Environmentally Sensitive Lands: 100-year floodplain and floodway boundaries; location of any wetlands, wellfield protection areas and other environmentally sensitive areas, including the soil and vegetation basis for such a determination.

I certify that all of the information listed above has been provided if applicable on the site plan and/or accompanying documents. Lack of information provided may constitute as an incomplete submittal, thus delaying the review process.



 Signed: _____ Date: 11/17/2016

Please Note: The list is provided to ensure that all site plans submitted are uniform and contained the minimum information required for review under Section 14-2-191 of the City of Kissimmee Land Development Code. It is not intended to be an inclusive list of all ordinance requirements. Please direct questions concerning site plan review to the City of Kissimmee Development Services Department at (407)518-2140.

Approximate Review Time for a Site Plan Request:

Review Type	Progressive Review Time
- Submittal of Application and necessary documents (see DRC schedule for submittal dates. DRC meets every other Tuesday.)	
- Development Review Committee meeting with the applicant - 2 weeks	2 Weeks
- Submittal Site Development Plans**	
- Preliminary Site Development Review (Construction Plans) – 3 weeks	5 Weeks
- Resubmittal of Site Development Plans	
- Final Site Development Review (Construction Plans) *** - 3 weeks	8 Weeks
- Development Order Issued	
Approximate Time of Review Total	8 - 10 Weeks

Estimation does not include review time for additional DRC reviews, PUD Site Plan, and Minor Site Plan requests. Estimations may vary. Dependent upon necessary revisions, resubmittals, permits and any other required documentation. ** Process does not include building construction plan. See Building Division for submittal requirements. *** Dependent upon if all preliminary site development comments have been addressed and revised.
11/20/09

SHIPWATCH KISSIMMEE I, LLC
782 SHIPWATCH DRIVE EAST
JACKSONVILLE, FL 32225

November 14, 2016

City of Kissimmee
Development Services Department
101 Church St.
Kissimmee, FL 34741

RE: Agent Authorization – Vineland Landings

Dear Sir or Madam:

I, CHARLES H. CORDES, hereby authorize Southern Investment Group, L.L.P., and any consultants contracted to perform such work, to pursue any processes necessary with the City of Kissimmee to obtain Construction Plan and PD Site Plan approvals on the property located at 2015 Old Vineland Road, Parcel ID's #18-25-29-00U0-0080-0000, #13-25-28-00U0-0145-0000, and #13-25-28-00U0-0140-0000, Kissimmee, Florida.

Please feel free to contact me at (407) 456-1262 with any questions.

Sincerely,



Charles H. Cordes
Manager
Shipwatch Kissimmee 1, L.L.C.

STATE OF FLORIDA
COUNTY OF DUVAL

Subscribed and sworn to (or affirmed) before me this 15th day of NOV., 2016 by
CHARLES H. CORDES. Personally known to me or produced _____ identification.



Notary Public
My Commission Expires 7/13/2020



Alison West
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG011587
Expires 7/13/2020

Plans Associated with

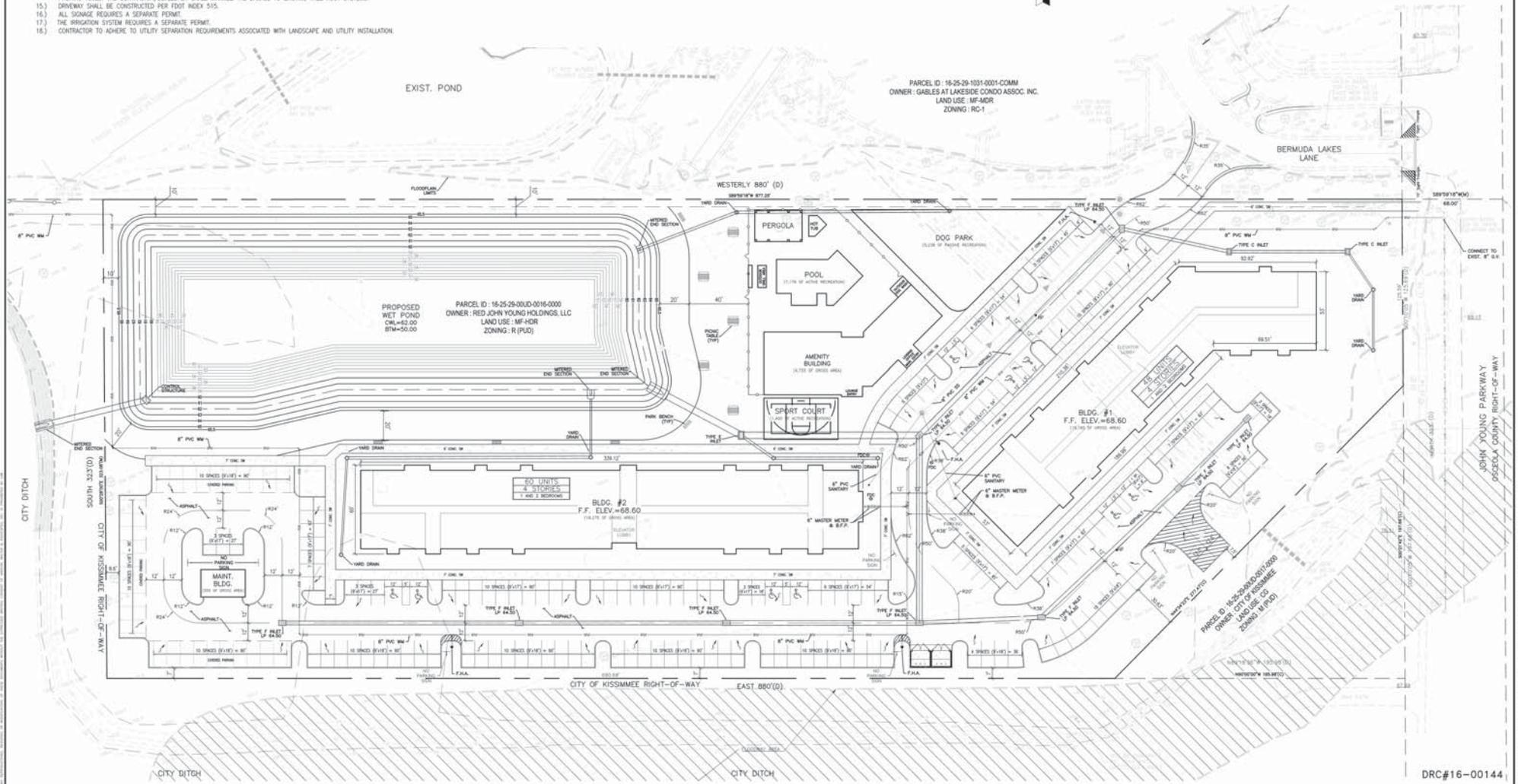
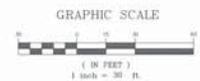
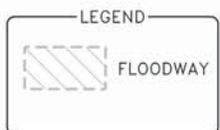
DRC#: 16-00144 (2nd Review)

Project Name: Hamilton at Lakeside

Project Type: PUD Site Plan

The following plan(s) are for review in conjunction with the DRC backup (agenda, application, vicinity map, etc) that was recently e-mailed to you.

- NOTES:**
- 1.) FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. IF CONFLICTS OCCUR, CONTACT ENGINEER PRIOR TO CONSTRUCTION.
 - 2.) ALL ONSITE SIDEWALKS ARE 7' WIDE UNLESS OTHERWISE NOTED.
 - 3.) ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
 - 4.) REFER TO LANDSCAPE/HARDSCAPE PLANS FOR ENHANCEMENT FEATURES AND SIGNS.
 - 5.) ALL CURBS ARE 6" HIGH TRENCH TYPE UNLESS OTHERWISE NOTED.
 - 6.) ALL SIGNAGE AND STRIPING TO BE INSTALLED IN ACCORDANCE WITH MUTCD (LATEST EDITION) STANDARDS AND SPECIFICATIONS.
 - 7.) WORK WITHIN THE R.O.W. SHALL BE PERFORMED BY NOT CERTIFIED FIELD PERSONNEL.
 - 8.) SIDEWALK RAMPS TO BE CONSTRUCTED AT PROPOSED SITE DRIVEWAYS SHALL BE "CAST IN PLACE" DETECTABLE WARNING IN ACCORDANCE TO FOOT INDEX 304.
 - 9.) NO CERTIFICATE OF OCCUPANCY (CO) WILL BE ISSUED UNTIL ALL APPLICABLE PERMITS ARE OBTAINED. ALL EASEMENTS RECORDED AND FILED WITH THE CITY, AND ALL UTILITIES ARE INSTALLED AND CERTIFIED BY THE CITY ENGINEER.
 - 10.) LOCATIONS OF SITE LIGHTING IS APPROXIMATE. FINAL LOCATION TO BE DETERMINED BY HVA.
 - 11.) ALL CONSTRUCTION SHALL COMPLY WITH FOOT AND THE CITY OF KISSIMMEE SITE SPECIFICATIONS.
 - 12.) TRASH DUMPSTER AREA SHALL BE WALLED WITH MATERIALS THAT ARE LINK KIND TO THE PRINCIPAL BUILDINGS OF THE SITE. DUMPSTER ENCLOSURE REQUIRES A SEPARATE PERMIT.
 - 13.) TRASH DUMPSTER SHALL BE ENCLOSED AND HAVE GATES COMPLYING WITH COK LOC. 14-2-94-02C). A SOLID GATE MADE FROM PRESSURE TREATED WOOD OR METAL SHALL BE INSTALLED ON THE ENCLOSURE AND SHALL REMAIN CLOSED AT ALL TIMES OTHER THAN DURING GARBAGE DISPOSAL OR COLLECTION.
 - 14.) WHEN ANY ROOTS OF EXISTING TREES THAT ARE TO REMAIN ARE DISCOVERED DURING LAND CLEARING AND/OR GRADING OF THE SITE, THE ROOTS MUST BE CUT OFF EVENLY WITH CLEAN SHARP PRUNING TOOLS. THE CONTRACTOR/DEVELOPER SHALL MINIMIZE THE DAMAGE TO EXISTING TREE ROOT SYSTEMS.
 - 15.) DRIVEWAY SHALL BE CONSTRUCTED PER FOOT INDEX 515.
 - 16.) ALL SIGNAGE REQUIRES A SEPARATE PERMIT.
 - 17.) THE IRRIGATION SYSTEM REQUIRES A SEPARATE PERMIT.
 - 18.) CONTRACTOR TO ADHERE TO UTILITY SEPARATION REQUIREMENTS ASSOCIATED WITH LANDSCAPE AND UTILITY INSTALLATION.



DRC#16-00144

DESIGN	SM	P.B. NO.	--
DRAWN	HWA	PAGE	25
CHECKED	SM	SCALE	AS NOTED
CAD	--	DATE	09/16/15

SEC.	16	
TRF.	25	
RANGE.	29 E	
DATE	BY	REVISIONS

8 BROADWAY, SUITE 104, KISSIMMEE, FLORIDA 34741-5708
PHONE: (407) 847-8433
ENGINEERING FAX: (321) 442-1045 SURVEY FAX: (407) 847-2499
ENG. CERT. OF AUTHOR. No. 3265/SUR. CERT. OF AUTHOR. No. 3270
HVA
Hanson, Walfer & Associates, Inc.

THE HAMILTON
AT LAKESIDE

DRC SITE PLAN

SHEET NO
4 of 5
JOB NO 4351-05



GLA - ATL, LLC

649 11TH STREET
ATLANTA, GA 30318
VOICE: 404.228.1958
FAX: 404.228.8350

WWW.GLAATL.COM

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE CONSENT OF THE ARCHITECT. THIS DRAWING SHALL NOT BE SCALED. ©COPYRIGHT 2016 GLA-ATL, LLC.



1 1000 BUILDING - EAST ELEVATION
A-1 1/16"=1'-0"



2 1000 BUILDING - SOUTH/SOUTHWEST ELEVATION
A-1 1/16"=1'-0"



3 1000 BUILDING - SOUTH/SOUTHEAST ELEVATION
A-1 1/16"=1'-0"



4 1000 BUILDING - NORTH/NORTHWEST ELEVATION
A-1 1/16"=1'-0"

11/16/2016

The Hamilton
Lakeside

1000 BUILDING
ELEVATIONS

A-1



GLA - ATL, LLC

649 11TH STREET
ATLANTA, GA 30318
VOICE: 404.228.1958
FAX: 404.228.8350

WWW.GLAATL.COM

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE CONSENT OF THE ARCHITECT. THIS DRAWING SHALL NOT BE SCALED. ©COPYRIGHT 2016 GLA-ATL, LLC.

11/16/2016



1 2000 BUILDING - EAST ELEVATION
A-2 1/16"=1'-0"



2 2000 BUILDING - WEST ELEVATION
A-2 1/16"=1'-0"



3 2000 BUILDING - NORTH ELEVATION
A-2 1/16"=1'-0"



4 2000 BUILDING - SOUTH ELEVATION
A-2 1/16"=1'-0"

The Hamilton
Lakeside

2000 BUILDING
ELEVATIONS

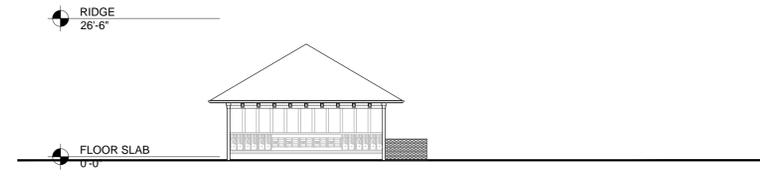
A-2

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND SHALL NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE CONSENT OF THE ARCHITECT. THIS DRAWING SHALL NOT BE SCALED. ©COPYRIGHT 2016 GLA-ATL, LLC.

11/16/2016



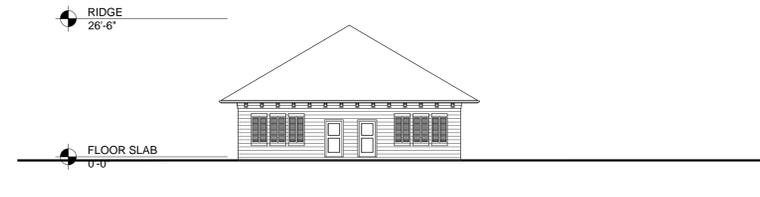
1 AMENITY BUILDING - SOUTH/SOUTHWEST ELEVATION
A-3 1/16"=1'-0"



2 AMENITY BUILDING - NORTHEAST ELEVATION
A-3 1/16"=1'-0"



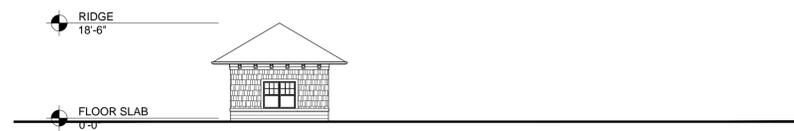
3 AMENITY BUILDING - NORTH/NORTHWEST ELEVATION
A-3 1/16"=1'-0"



4 AMENITY BUILDING - WEST ELEVATION
A-3 1/16"=1'-0"



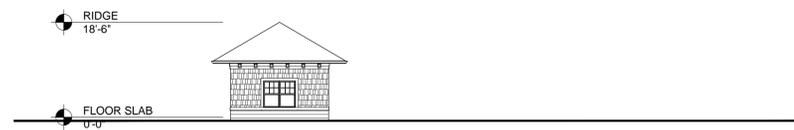
5 MAINTENANCE BUILDING - NORTH ELEVATION
A-3 1/16"=1'-0"



6 MAINTENANCE BUILDING - EAST ELEVATION
A-3 1/16"=1'-0"



7 MAINTENANCE BUILDING - SOUTH ELEVATION
A-3 1/16"=1'-0"



8 MAINTENANCE BUILDING - WEST ELEVATION
A-3 1/16"=1'-0"



November 17, 2016

City of Kissimmee
Attn: Ashley Cornelison
101 Church Street
Kissimmee, Florida 34741-5054

Re: Hamilton at Lakeside: DRC#16-00144
16-25-29-00U0-0016-0000
PUD Site Plan

Dear Ms. Cornelison:

Please find the comment responses in **bold** to the letter sent on November 4, 2016.

AVIATION

Compliance-No Comments

1. Submit FAA Form 7460-1, via <https://oeaaa.faa.gov/external/portal.jsp>, to coordinate construction equipment that may penetrate FAA Airspace. Please submit a minimum of 120 days prior to date of intended use of cranes, etc.

The contractor will be notified that the form will need to be submitted prior to construction.

BUILDING DIVISION

Compliance- No comments

FIRE

Revise/Resubmit-No comments

Questions/Comments

1. What is the total proposed Sqft for the club house?

The total proposed square footage for the clubhouse is 4,733 square feet.

2. In regards to the club house:

- a) Kissimmee Land Development Code 13.3.2 Where Required: All new non-residential buildings totaling 5,000 square feet or more gross floor area shall have an approved automatic sprinkler system installed in accordance with Section 13.3.1.1. Any renovation or alteration to an existing structure which results in an increase of the total gross floor area that exceed 5,000 square feet or more which has a net increase

in total square footage exceeding 5,000 square feet shall be require to install and improved automatic sprinkler system in accordance with Section 13.3.1.1 throughout the structure

The club house will have an automatic sprinkler system.

- b) Gross Floor Area** shall be computed by measuring the entire square footage under roofs, coverings, permanent awnings, regardless of separation; the square footage of each floor level shall be counted separately and added to determine total gross floor area.

Noted.

3. There is a section of road behind the 48 unit building, what is the proposed intent of this strip of road?

This section of the road is to provide a turnaround for the fire truck.

4. Per NFPA 1 18.2.3.4.4 dead-end fire department access roads in excess of 150ft in length shall be provided with approved provisions for fire apparatus turn around. **(The fire department access road behind the proposed 48-unit building is over 150')**
- a) This can be achieved through a cul-de-sac, T-turn, or Y-turn

A T-turn has been provided for the emergency vehicles.

5. Please show location of the FDC (fire department connection) on the site plan. Fire Department connections for fire sprinkler systems, standpipe systems, and combined systems shall meet the same standards as those for fire hydrants and undergrounds which are applicable to the FDCs. For NFPA 13 systems, a hydrant shall be place within 250 feet of an FDC and the FDC shall be a minimum of 30 feet from the building. The FDC for 13R systems shall be located on an exterior wall of the building at the riser with no specific distance from a hydrant. LDC 14-2-138(I).

Please see revised plan enclosed for the fire department connections.

6. Per LDC 14-2-138 ©
- a) All Other Subdivisions or Projects shall comply with the requirements of the Florida Fire Prevention Code NFPA 1 current addition and the following:
- i) Fire Hydrants shall be placed no greater than 500 feet apart measured within rights-of-way following fire lanes or fire



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING. SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

access drives such as a Fire Department vehicle would follow and the entry door of a structure shall not be more than 500 feet from the nearest hydrant.

Fire hydrant spacing less than 500 feet has been maintained.

- ii) Hydrants shall be placed at development entrances, other strategic places and within 250 feet of Fire Department connections (FDC).

Noted.

- iii) Water mains shall be no less than eight inches in diameter.

All mains will be minimum of 8" in diameter.

- iv) Mains shall be looped except in small subdivisions.

The water main will be looped.

7. Per LDC 14-2-138(G):

- a) All hydrants are to be marked with blue road reflectors per the following standards: **Noted.**

- i) *Placement:* The marker shall be installed in the center of the driving lane in front of the fire hydrant on the same side of the street as the fire hydrant.
- ii) *Model:* The marker shall be Mode 911A bidirectional.
- iii) *Size:* Marker size shall be four inches by four inches by three-fourths inch.
- iv) *Bonding:* Marker shall be bonded to roadways by using a two-part epoxy adhesive or other approved material.

- 8. Per FFPC, NFPA 1, Uniform Fire Code, Florida 5th Edition, Chapter 18, Sub-section 18.2.3.5.3. Please add to "No Parking" detail; distances between No Parking signs cannot exceed 60'. Signs may alternate sides of road at 60' intervals (120' between signs.) Fire lanes shall be marked with freestanding signs with the wording, "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENTZ" or similar wording. Such signs be 12in. by 18in. with a white background and red letters and shall be a maximum of seven feet in height from the roadway to the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of **60 feet** apart.



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING. SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

Per DRC meeting on November 8th, 2016, the” No Parking” signs have been added to the plans.

9. FFPC, NFPA 1, Uniform Fire Code, Florida 2010 edition, Chapter 18, Sub-section 18.2.3.5.1 Roadway in front of curb of a hydrant shall be marked with safety yellow stripping noted to be no parking area.

Noted.

10. All hydrants shall be installed in such a manner as to be unobstructed and easily accessed by the Fire Department at all times. LDFC 14-2-138(E).

Noted.

11. No person shall place or keep any post, fence, vehicle, growth, vegetation, trash or storage of other materials that would obstruct a fire hydrant or fire protection appliance and hinder or prevent its immediate use by fire department personnel. FFPC NFPA 1, Chapter 18, Section 18.3, Sub-division 18.3.3.3.1.

Noted.

12. Hydrants shall be placed a minimum of at least three feet but not more than 5 feet from roadways and driveways. Hydrants shall be placed at least 30 feet from structures. LDC 14-2-138 (E) (3).

Noted.

13. Per FFPC NFPA 1 Uniform Fire Code, Chapter 1. Section 1.12: Installing fire alarm contractor shall submit shop drawings that comply with requirements of NFPA 72 National Fire Alarm Code, Chapter 4, section 4.5.1.1 for review and approval prior to work commencing.

Noted.

14. Per FFPC NFPA 1 Uniform Code Chapter 1, Section 1.12: Installing sprinkler contractor shall submit shop drawings that comply with requirements of NFPA 13 Installation of Sprinklers, Chapter 14, Section 14.1.3 for review and approval prior to work commencing.

Noted.

15. Per FFPC NFPA 1 Uniform fire Code Chapter 1, Section 1.12: Installing Fire Main contractor shall submit shop drawings that comply with requirements of NFPA 24 for review and approval prior to work commencing.

Noted.

16. NFPA 101 30.3.5.1 All buildings shall be protected throughout by an approved automatic sprinkler system installed in accordance with 30.3.5.2

Noted.

17. In accordance with NFPA 101 9.7.2 sprinkler systems shall be monitored in accordance with NFPA 72.

Noted.

18. Per NFPA 1 18.2.3.2.2 Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of a building is located not more than 150ft from the fire department access roads measured by an approved route around the exterior of the building or facility.

The current layout meets this criterion.

19. Per NFPA 1 18.2.3.2.2.1 When the buildings are protected throughout with an approved automatic sprinkler system that is installed in accordance with NFPA 13, NFPA 13D, or NFPA 13R, the distance in 18.2.3.2.2 shall be permitted to be increased to 450ft. (**Proposed buildings exceed the 450ft noted in this code**)

Per DRC meeting on November 8th, 2016, the current plan meets this standard.

20. Per NFPA 1 18.2.3.2.1 Fire department access road shall extend to within 50ft of at least one exterior door that can be opened from the outside and that provides access to the interior of the building.

Per DRC meeting on November 8th, 2016, the current plan meets this standard.

KISSIMMEE UTILITY AUTHORITY
Compliance-No Comments

Noted.

OSCEOLA COUNTY PLANNING DEPARTMENT
Compliance-Comments

Noted.

OSCEOLA COUNTY SCHOOL BOARD
See Attached Comments

My understanding is there are no comments to address. However, the School Capacity Report was provided.

PARKS AND RECREATION
Compliance-No Comments

Noted.

PLANNING DIVISION
Compliance-Comments

See Additional Attached Comments

1. As this property is within a PUD, this must go through a PUD Site Plan process. Please resubmit a check for the correct fee - \$3,938.00.

A check in the amount of \$3,938.00 is forthcoming.

2. Please provide a conceptual landscape plan that complies with 14-2-90 through 14-2-97 and 14-2-60(F) and the conditions of approval of DRC#13-083. Please overlay the landscaping over the utility plan so Staff can verify the no conflicts exist.

A conceptual landscape plan was provided on November 8th during the DRC meeting. I understand you have been working with Charlie Richardson to address any comments. Landscape plans are also enclosed with this submittal.

3. Per the conditions of approval of DRC#13-083, a tree survey indicating the location, size, and type of trees to be preserved and the removed shall be provided with the PUD Site Plan submittal. Existing trees on the property and those within proximity from adjacent properties shall be preserved in accordance with Section 14-2-93 and shall be barricaded & inspected prior to any future development of the site. In addition, Staff shall walk the site with the developer prior to construction plan approval in order to determine the condition of all trees to be removed and/or saved and to determine if additional trees can be preserved. Differing slopes to adjacent properties and/or a grade/fill greater than



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING, SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

6-inches within the dripline of any trees to be preserved shall be prohibited. 14-2-93

Noted.

4. FYI: The current PUD is named "Westbury Comments." It may be beneficial to amend the name to something consistent with the proposed development. A PUD name change is \$506.00 and would only go through the DRC process.

As discussed in the November 8th DRC meeting, the applicant will prefer to keep the current name of "The Hamilton at Lakeside" and will not change the PUD name.

5. There is an established development called Lakeside on the northeastern side of the City. It may be beneficial, to avoid confusion in the future, to revised the project name to removed reference to Lakeside from this development.

As discussed in the November 8th DRC meeting, the applicant will prefer to keep the current name of "The Hamilton at Lakeside".

6. Providing building elevation plans (front, side & rear), including building height(s), to ensure acceptable design and compatibility with Code and the surrounding properties. Where a building is proposed that is larger in mass and scale than buildings adjacent to the site, facades, rooflines, and architectural features in the entry porticos, window openings, awnings, canopies, etc., shall be designed in a manner that will provide visual relief and sure consistency with the mass, scale and character of surrounding buildings. Architectural style, building materials, colors, and design features should serve to upgrade and enhance the surrounding area. Any façade visible from a public right-of-way shall have windows or other design features to avoid blank unbroken walls. In addition, show where all outdoor mechanical equipment including roof equipment is located and indicate by which means said equipment will be screened from view. 14-2-65(M); 14-2-195(I); 14-2-65(J)(1); 14-2-65(O)
 - a) External outdoor stairwells shall be prohibited. Entrances shall be established from a common interior breezeway or hallway. 14-2-60(F)(2)(e)
 - b) To avoid repetition of architectural styles, the following methods shall be provided. The following shall also apply to mixed use, multi-story complexes:
 - i) A variation of building designs and architectural styles;
 - ii) A sizeable front yard planting spaces along the street face;
 - iii) The distance between adjacent driveway surfaces/garage doors shall vary.



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING. SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

- iv) All buildings shall emphasize prominent architectural features, including gables, dormers, entranceways, vertically proportioned and trimmed front windows, and decorative porches or patios suitable in size to accommodate seating for the dwelling's occupants. All elevations shall incorporate a comparable proportion of window surface area and associated molding and muntin's, exposed rafters, decorative gables, dormers, first and second floor horizontal divider banding, and decorative trim features. All elevations shall also incorporate the same amount of style of architectural detailing and materials along the roofline and eaves as that provided on the front façade.
- c) Where faux or false windows are utilized in lieu of actual windows or dormers or other locations, the faux/false windows shall be constructed so as to appear as actual windows. As such, faux/false windows shall be constructed with significant details, with authentic molding materials, and with authentic sill and frame depths necessary to give the appearance of authentic windows enclosing an interior space. This standard shall also apply to all mixed use, multi-story complexes.

Please see building elevations enclosed with this submittal.

- 7. Provide the telephone number of the owner and applicant. 14-2-191(C)

Please see revised Cover Sheet enclosed.

- 8. The information under the legal description on the cover page appears to show the owner of a different project. Please revise plans accordingly.

The name has been revised to be the current applicant.

- 9. The Legal Description appears to differ from what is shown on the Property Appraiser's website. Please clarify.

I have verified with our survey department that the legal description shown on the plan is correct and matches the legal description in the deed.

- 10. The property appraiser's office indicates that the acreage is 5.78, while the plans show 6.06. Please clarify which is correct and, if necessary, revise plans accordingly.

Based upon the latest Boundary Survey of the property, the area is 6.06 acres.



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING. SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

11. Provide the square footage of the two proposed buildings.

Please see Cover Sheet for the building areas.

12. There is a building on the southwest corner of this development labeled "M."
Please clarify what that building is.

This is proposed to be a maintenance building. The callout for the building has been revised.

13. Indicate where any mail kiosks will be located.

- a) Note: If mail kiosks and dumpsters are utilized, a minimum of two parking spaces or a bypass lane dedicated for the use shall be provided, in accordance with 14-2-80, separate from the street or internal drive. 14-2-60(F)(3)(b)

The mail kiosk will be located within the clubhouse.

14. Provide an open space plan showing which areas were calculated in the 2.21 acres.

Please see revised Cover Sheet and exhibit enclosed.

15. Any development shall provide active recreational areas shall be at least equal to 3% of the buildable land on the project site, or 150-square feet per dwelling unit, whichever is greater. Please provide calculations on the open space plan to show this requirement has been met. 14-2-60(F)(4)(b)

Please see revised Cover Sheet enclosed.

16. Any development shall provide passive recreative areas within the required open space. These passive recreation areas shall be equal to 15% of the buildable land on the project site. Please provide calculations on the open space plan to show this requirement has been met. 14-2-60(F)(4)(C)

Please see revised Cover Sheet enclosed.

17. All active and passive recreational open space acreage and amenities shall be at least 25 feet from any lot and/or building. Please provide the distance between the sport court and building to the south to show this requirement has been met. 14-2-60(F)(4)(d)(4)



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING, SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

Please see revised site plan enclosed. Please note the plan was prepared in accordance with the site plan approved in the Westbury Commons PUD. This plan did not meet the 25 feet setback referenced in this comment.

18. Indoor or covered recreational spaces (e.g., swimming pools, sports courts, weight rooms, clubhouse, spas and the like) shall not exceed 30% of the required open space acreage. Please show the calculations showing this requirement has been met. 14-2-60(F)(4)(d)(5)
- a) NOTE: If bike paths, pedestrian trails, nature trails or similar pathways are provided, such paths shall be a minimum of ten feet in width and form a continuous loop. Sidewalks within public or private street tracts, and any sidewalk meant to connect to building, parking and streets cannot be counted towards open space requirements. 14-2-60(F)(4)(d)(5)

Please see revised Cover Sheet enclosed.

19. There appears to be a dead-end sidewalk east of the sport court. Please connect this to the sidewalk to the south. 14-2-60(F)(4)(d)(5)

Please see revised site plan enclosed. A sidewalk connection has been made to eliminate the dead-end.

20. What type of recreation is proposed in the area call "recreation?" Please provide this information on the open space plan.

The area is proposed to be a dog park.

21. If bike paths, pedestrian trails, nature trails or similar pathways are provided, such paths shall be a minimum of ten feet in width and form a continuous loop. Sidewalks within public or private street tracts, and any sidewalk meant to connect to building, parking and streets cannot be counted towards open space requirements.

Noted.

22. Parking stalls must be a minimum of ten feet in width unless an administrative waiver is granted. If this waiver is requested, please provide a letter showing that one or more of the criteria in 14-2-80(C)(1)(b) has been met so Staff can review. Should this waiver be approved, revise the site data table note about waivers accordingly.

A waiver will be submitted for the use of 9' parking spaces.



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING. SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

23. There are two 12.5-foot spaces on the southeast corner of the property. Please clarify what these are for.

This is the T-turn for the emergency vehicles.

24. Landscape islands must be a minimum of 10-feet in width, per 14-2-94(C)(2)(C). Please revise dimensions of landscape islands accordingly.

Landscape islands have been revise to meet this standard.

25. Provide a note under the parking requirements that: of the total required spaces for multiple family housing developments, unassigned spaces (and thus potentially available for guests) shall be equal to at least one-half of the total number of dwellings. Also, provide this calculation. 14-2-78(D)(1)

Please see revised Cover Sheet for note.

26. Place following information in on the plans:

Alley edge of pavement	15 feet
Sidewalks	3 feet for small and medium trees 5 feet for large trees
Curbs and Gutters	5 feet
Driveways	5 feet
Fire Hydrants	10 feet
Intersections	35 feet
Manholes and Catch Basins	10 feet for small and medium trees 15 feet for large trees
Water Meters	5 feet
Utility Boxes	5 feet
Utility Poles	10 feet
Water Line, Sewer Line, Transmission Line, or other utilities	5 feet
Sewer Laterals	10 feet
Street Lights	10 feet for small trees 25 feet for medium and large trees
Regulatory Signs	Not to block sign

Please see revised Cover Sheet for the table.

27. Note the followings on the plans:

- a) Horizontal sight triangles shall be provided on the Site Plan and Landscape Plan accordingly:
 - i) Access Drive and Street: The areas of property on both sides of an access drive formed by the intersection of each side of the access way and the public right-of-way line with two sides of each triangle being ten feet in length from the point of intersection and the third side being a line connecting the ends of the two other sides. Landscape plans shall show these lines.
 - ii) Two Streets: The area of property located at a corner former by the intersection of two or more public rights-of-way with two sides of the triangular area being 25 feet in length along the abutting public right-of-way lines, measured from their point of intersection, and the third side being a line connecting the ends of the other two sides.
- b) A vertical sight clearance shall be maintained within these triangles from 30 inches to 8-feet in height. All vertical site improvements shall be removed and/or kept clear from these triangles. 14-2-97(A-B)

Please see revised Site Plan enclosed.

28. Please provide the following minimum living areas on the plans. 14-2-60(A)

- a) No building intended for dwelling use shall have less than 500 square feet of living area for each dwelling unit;
- b) 500-square feet for one-bedroom apartment dwelling units;
- c) 750-square feet for two-bedroom apartment dwelling units; and
- d) 1,000 square feet for three-bedroom apartment dwelling units.
- e) Any dwelling with more than three bedrooms shall have an additional 100 square feet for each additional bedroom. In addition, all dwelling unit shall comply with occupancy standards contained in S 13-1-14.

Please see revised Cover Sheet.

29. The plans show a note that there is a City Limit Line along the northern side of the property. As the subject property is bounded (on all sides) by properties within the City's jurisdiction, please remove this note.

The note has been removed and the site plan. However, the legal description in the deed references the "City Limit" at this location and has to be shown on the survey.



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING, SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

30. Please include the owner, parcel ID, land use, and zoning for all adjacent property owners.
- a) The land use shown for the property to the north is incorrect. Please revise accordingly.

The adjacent properties to the south and west are City right-of-way. They are now called out on the plans.

31. For your information, any Mobility and Impact fees will be due at time of permit issuance. To find out more information please contact Ashley Cornelison at 407-518-2141 of the Development Services Planning Division for Mobility fees and Ray Biron at 407-944-5000 of the Toho Water Authority for water/sewer impact fees.

Noted.

32. Add the project number DRC 16-00144 to each sheet.

Please see revised plans enclosed.

33. Any signage requires a separate permit through Building Division. Approval of this application in no way serves as approval of any signage.

Noted.

34. All applicable code requirements of the City of Kissimmee Code of Ordinances shall be adhered to for any proposed use(s) and its processes.

Noted.

Items to be addressed with Preliminary Site Development Plans submittal:

35. Provide a note on the geometry, demo, land cleaning, and the grading sheets in capitalized letters indicating that when any roots of existing trees are encountered during land clearing and/or grading of the site, the roots must be cut off evenly with clean sharp prunin tools. The contractor/developer shall minimize the damage to existing tree root systems.

Noted.

36. All utilities including telephone, television cable, and electrical systems shall be installed underground in easements suitable for maintenance and extension. Primary facilities providing service to the site may be exempted from this



requirement. Large transformers shall be placed on the ground and contained within pad mounts, enclosures or vaults 14-2-50(D)(9)

Noted.

37. Is any temporary sales/leasing trailer proposed? If so, please provide a plan showing the location of this trailer and any proposed improvements associated.

No temporary sales/leasing trailers are proposed at this time.

38. Provide a photometric plan with the Preliminary Site Development Plan. Light locations and styles shall be chosen to reduce any potential light pollution spilling onto adjacent rights-of-way. Please provide location, photometric and shielding plan for proposed lighting accordingly. LDC 14-2-192(A)(3)
- a) Note that site lighting poles shall not be located within any required landscape island. 14-2-94(C)(2)(h)
 - b) Street lighting shall be provided along all streets within the area between sidewalks and curbs, at intervals no less than 75 feet in length, and shall comply with illumination standards adopted by the city. To avoid conflicts with street trees and to provide pedestrian-scale lighting, street lighting structures shall not exceed 18 feet in height. Where sidewalks abuts the curb, street lighting structures shall be provided as close to the curb as possible. Cast iron or similar street lighting shall be utilized. Concrete or aluminum poles and mast arms shall be prohibited 14-2-60(F)(e)

Noted. A lighting plan meeting these standards will be provided.

39. Provide an irrigation system plan for all previous areas, which indicate the location, type, connections, meter, rain sensor device, and backflow preventer. Said plans shall be provided in conjunction with preliminary site development plans and approved prior to final site development plan approval. 14-2-91(B)(12)

Noted.

40. Dumpster enclosures shall be a minimum of six feet in height and shall be made of a finished, maintenance free material such as brick, split-face masonry block, textured concrete or similar materials, which shall be consistent with the architectural style of the building(s) on site. Dumpsters and enclosures shall not be located between any building façade and adjacent street, except lots with three or more street frontages, the dumpster and enclosure shall be located in the rear of the lot behind the façade of the building. A solid gate, made from pressure treated wood or metal, shall be installed on the enclosure and shall



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING, SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

remain closed at all times. Shrubs, a minimum of 30 inches in height and spaced a minimum of 30 inches on center shall be provided adjacent to three sides of the dumpster enclosure. Please provide a detail on the plans showing that this requirement has been met. 14-2-94(D)(2); 14-2-194(D)(2); 14-2-191(C)(18)

Noted.

41. Each unit shall be self-contained with respect to utilities, heating and air conditioning. All outdoor mechanical equipment, such as heating, air conditioning and ventilation systems, shall be visually screened from the street or internal drive. This standard shall also apply to all mixed use, multi-story complexes. 16-2-60(2)(k)

Noted.

42. All mechanical equipment located outdoors, such as heating, ventilation, air conditioning, refrigeration systems, and KUA transformers, shall be visually screened from adjacent rights-of-way. Provide the location of all such mechanical equipment, and indicate the location and types of screening to be used. 14-2-65(K)

Noted.

43. Provide a note that parking and outside storage areas for boats, travel trailers, and similar equipment outside of storage areas shall be screen from view of the dwellings within the project, and shall be screened from adjacent property using one or a combination of landscaping, berm and/or decorative solid fencing, a minimum of six feet in height. Storage of equipment within the public and private streets shall be prohibited. 14-2-60(F)(4)(f)

Noted.

44. Note: All streets, internal drives and alleys within the development shall be curbed. Curbs for streets shall be raised, Type F style curbs; however, curbs for alleys may be drop curb or shoulder gutter style (i.e., Miami curbs). 14-2-60(F)(1)(h)

Noted.

POLICE

Compliance-No Comments

Noted.

PUBLIC SAFETY/911

Compliance-No Comments

Noted.

PUBLIC WORKS & ENGINEERING

Compliance- No Comments

Comments to be addressed prior to DRC approval

1. If 9' wide parking spaces are approved, please add this information to the cover sheet and provide approval dates.

A waiver will be submitted for the use of 9' parking spaces.

2. Please provide hardcopies of the landscaping and irrigation plans.

Please see landscape plans enclosed.

3. Please note: no landscaping trees shall be placed within the 20' wide wet pond or ditch maintenance berms. Revise as needed.

Noted.

4. Please rotate or move the dumpster enclosure to provide a minimum 40' straight-in approach.

Please see revised plan enclosed.

5. Please consider a compactor in lieu of dumpsters for this site.

The dumpsters are proposed to be used at this time.

6. Please provide minimum 10' wide parking spaces

A waiver will be submitted for the use of 9' parking spaces.

7. Please show how conveyance of runoff through the existing ditch where the 48-unit building is proposed will be accommodated.

The existing ditch will be filled and a yard will be added at the north property line to receive any runoff from remaining low areas.

8. Please indicate pavement type to be used in the site plan.



All proposed parking and drive aisles will be paved with asphalt.

9. Please indicate what the "M" building is.

This is a proposed maintenance building.

10. Please show the FEMA floodway boundary lines for the adjacent ditch on the site plan.

Please see revised plans enclosed.

11. Please indicate whether the proposed pond will be wet or dry retention/detention. Please note: a 10' wide unobstructed maintenance berm easement will be required for the property north of this site to facilitate a 20' wide pond berm for this site if a wet pond is proposed.

The proposed pond will be a wet pond.

12. Please note: cross-access, drainage, and maintenance easements will be required between this site and the site to the north. This will be required prior to final construction plan approval.

Noted.

Advisory Comments (no responses necessary)

- Please provide the Parcel Identification Number(s) of this property on the site plan.
- Please add the DRC reference number (DRC#16-00144) to the lower right corner of the cover sheet of the construction drawings.
- Provide the names of adjoining property owners from the latest assessment on the plan. If City of Kissimmee, please add this information also.
- Please add property boundary monumentation information on the survey and site plan.
- Please note: any work done within adjacent right-of-way subject to Osceola County review and approval. Please provide a copy of applicable connection permit(s) or NOI based on this design prior to construction plan approval.
- Provide dumpster enclosure details on the site plan. Please note: dumpster enclosure shall be constructed in conformance with City of Kissimmee Construction Standard and Specifications.
- Provide details for all work to be done on the adjacent property to the north, particularly in the area of the entrance.



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING. SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433
Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com
Website: www.hansonwalter.com

- Please provide greater inflow/outflow pipe separation in the pond. Consider eliminating the pipe on the west side of the 60-unit building and making a connection to the pipe near the sport court.
- Please note: all plans and supporting documentation (except boundary and topo surveys) shall be certified by a Florida registered professional engineer.
- Please note: any changes to a previously reviewed set of plans shall be clearly indicated, either through comment responses or other written communication.
- Please note: additional comments may be forthcoming as a result of revisions to the plans or with submittal of supporting documentation.
- In the next submittal please show the location of the floodway.

Revisions have been made per advisory comments.

To help assist you in the preparation of your DRC construction submittal we have listed below some of the major concerns that have arisen from our review of previous submittals so that the number of comments made can be minimized.

No responses to these comments are necessary.

- Please provide FEMA FIRM 2013 Flood Zone information on the plans. If this is not Zone X, please show flood boundary line(s) and provide Base Flood Elevation with datum used on the plans and ensure that proposed finished floor elevations are a minimum of eighteen inches above it.
- Provide a signed and sealed boundary and topography survey of the subject site to include one foot contours and vertical datum use. Let Topo survey extend a minimum of 25 feet into adjacent properties and show drainage patterns using spot elevations, drainage arrows and cross-sections along each property line
- Ensure the legal description and boundary on the site plan match the certified boundary survey provided.
- Make sure all owners are listed on the cover page. Also, provide names of adjacent property owners on the plans. Ownership should be consistent with the latest Osceola County Tax Assessment maps.
- Show pre and post-development total, pervious and impervious areas on the plans and provide drainage calculations to show that the 10 year/72 hour storm discharges are not exceeded if there is an increase in impervious area.
- Ensure no landscaping is proposed in drainage easements or swales. Also, ensure no trees are proposed within five feet of any storm drainage or other underground utilities.
- Locate the inlet and outlet of the pond so that there is no short-circuiting between them.



- The subgrade of proposed pavements should be stabilized and compacted to min. 98% density AASHTO T-180 with min FBC = 50.
- In accordance with the Land Development Code section 14-2-135-(B)(2) commercial or industrial zoned projects shall provide at least ½ inch dry detention or retention pretreatment as part of the required stormwater retention/detention.
- The pond bottom for dry ponds should be a minimum of three feet above the normal wet weather water table in accordance with LDC 14-2-136(B)(2).
- Provide garbage storage provisions on the site plan to include recycling. If dumpster(s) or compactor is used, then provide City Standard details on the plans and make sure a 40' unobstructed approach is provided. If curbside service is available, provide a visually screen area large enough to store three of the City issued trash cans

Noted. Comments will be addressed with the construction plan submittal.

SOUTH FLORIDA WATER MANAGEMENT DISTRICT

No Comments Received

Noted.

TOHO WATER AUTHORITY

Compliance Comments

1. Fees will be due

Noted.

2. Additional comments during construction plan review.

Noted.

If you have any questions, please contact me at (407) 847-9433.

Sincerely,



Santiago Machado
Project Manager



HANSON. WALTER & ASSOCIATES. INC.

PROFESSIONAL ENGINEERING, SURVEYING & PLANNING

8 Broadway, Suite 104 – Kissimmee, Florida 34741-5708 – Phone: 407-847-9433

Engineering Fax: 321-442-1045 – Surveying Fax: 407-847-2499 – Email: hwa@hansonwalter.com

Website: www.hansonwalter.com



DRC#16-00144
PUD Site Plan-First Review
The Hamilton at Lakeside
Project Rep: Santiago Machado

DEVELOPMENT REVIEW COMMITTEE– November 8, 2016

DEPARTMENT REPRESENTATIVES:

AVIATION: 407-518-2516
Terry Lloyd

POLICE: 407-518-3227
LT. James Napier
Pamela Morgan

BUILDING DIVISION: 407-518-2120
Juan F. Hernandez
Juan C. Hernandez

PLANNING DIVISION: 407-518-2140
Ashley Cornelison
Jean Quillo

FIRE: 407-518-2202
Donna Mussler
James Trimble

PUBLIC WORKS & ENGINEERING: 407-518-2170
Ryan Birks-Kilman
Azim Hosein
Jody Kirkendall (Sanitation) - 407-518-2651

PARKS & RECREATION: 407-518-2501
Steve Lackey
Deborah Fales

ADDITIONAL AGENCY REPRESENTATIVES:

**FLORIDA DEPARTMENT OF
TRANSPORTATION (FDOT):**
407-858-5900

OSCEOLA COUNTY SCHOOLS:
Rhonda Blake – 407-518-2954
Brian Kepner – 407-518-2964

**KISSIMMEE UTILITY AUTHORITY
(KUA):**

Matt Maassen – 407-933-7777

PUBLIC SAFETY, 911 ADMINISTRATION:

Denise Wilson – 407-742-5910

OSCEOLA COUNTY HEALTH:
Bret Smith – 407-742-8606

TOHO WATER AUTHORITY:
Kevin Anthony – 407-944-5000
Elizabeth George - 407-944-5000

OSCEOLA COUNTY PLANNING:
407-742-0200

**SOUTH FLORIDA WATER MANAGEMENT
DISTRICT (SFWMD):**
Mark Daron – 407-858-6100

DEVELOPMENT REVIEW COMMITTEE COMMENTS

To help ensure that comments have been addressed and to determine where and how they have been addressed, please provide written responses to each of the following comments.

AVIATION

Compliance-Comments

1. Submit FAA Form 7460-1, via <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>, to coordinate construction equipment that may penetrate FAA Airspace. Please submit a minimum of 120 days prior to date of intended use of cranes, etc.

BUILDING DIVISION

Compliance-No Comments

FIRE

Revise/Resubmit-No Comments

Questions/Comments

1. What is the total proposed Sqft for the club house? *FINALIZING CLUBHOUSE, WILL BE LESS THAN 5K.*
2. In regards to the club house:
 - a) Kissimmee Land Development Code 13.3.2 Where Required: All new non-residential buildings totaling 5,000 square feet or more gross floor area shall have an approved automatic sprinkler system installed in accordance with Section 13.3.1.1. Any renovation or alteration to an existing structure which results in an increase of the total gross floor area that exceed 5,000 square feet of the entire structure shall be required to install throughout the structure an approved automatic sprinkler system in accordance with Section 13.3.1.1. Any renovation or alteration to an existing structure 5000 square feet or more which has a net increase in total square footage exceeding 5000 square feet shall be required to install an approved automatic sprinkler system in accordance with Section 13.3.1.1 throughout the structure
 - b) **Gross Floor Area** shall be computed by measuring the entire square footage under roofs, coverings, permanent awnings, regardless of separation; the square footage of each floor level shall be counted separately and added to determine total gross floor area. *TURN AROUND FOR FIRE TRUCK*
- ✓ 3. There is a section of road behind the 48 unit building, what is the proposed intent of this strip of road?
- ✓ 4. Per NFPA 1 18.2.3.4.4 dead-end fire department access roads in excess of 150ft in length shall be provided with approved provisions for fire apparatus turn around. **(The fire department access road behind the proposed 48-unit building is over 150')** *→ PROVIDED W/ TURN-AROUND*
5. Please show location of the FDC (fire department connection) on the site plan. Fire Department connections for fire sprinkler systems, standpipe systems, and combined systems shall meet the same standards as those for fire hydrants and undergrounds

WANT TO SEE ON DRC SITEPLAN

- which are applicable to the FDCs. For NFPA 13 systems, a hydrant shall be placed within 250 feet of an FDC and the FDC shall be a minimum of 30 feet from the building. The FDC for 13R systems shall be located on an exterior wall of the building at the riser with no specific distance from a hydrant. LDC 14-2-138(I).
6. Per LDC 14-2-138(C).
 - a) All Other Subdivisions or Projects. Shall comply with the requirements of the Florida Fire Prevention Code NFPA 1 current addition and the following:
 - i) Fire hydrants shall be spaced no greater than 500 feet apart measured within rights-of-way following fire lanes or fire access drives such as a Fire Department vehicle would follow and the entry door of a structure shall not be more than 500 feet from the nearest hydrant.
 - ii) Hydrants shall be placed at development entrances, other strategic places and within 250 feet of Fire Department connections (FDC).
 - iii) Water mains shall be no less than eight inches in diameter.
 - iv) Mains shall be looped except in small subdivisions.
 7. Per LDC 14-2-138(G): *CONSTRUCTION PLANS*
 - a) All hydrants are to be marked with blue road reflectors per the following standards:
 - i) *Placement:* The marker shall be installed in the center of the driving lane in front of the fire hydrant on the same side of the street as the fire hydrant.
 - ii) *Model:* The marker shall be Model 911A bidirectional.
 - iii) *Size:* Marker size shall be four inches by four inches by three-fourths inch.
 - iv) *Bonding:* Marker shall be bonded to roadways by using a two-part epoxy adhesive or other approved material.
 8. Per FFPC, NFPA 1, Uniform Fire Code, Florida 5th edition, Chapter 18, Sub-section 18.2.3.5.3. Please add to "No Parking" detail; distances between No Parking signs cannot exceed 60'. Signs may alternate sides of road at 60' intervals (120' between signs). Fire lanes shall be marked with freestanding signs with the wording, "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT" or similar wording. Such signs shall be 12 in. by 18 in. with a white background and red letters and shall be a maximum of seven feet in height from the roadway to the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of **60 feet** apart → *DRIVE AISLE BETWEEN BUILDINGS.*
 9. FFPC, NFPA 1, Uniform Fire Code, Florida 2010 edition, Chapter 18, Sub-section 18.2.3.5.1 Roadway in front of curb of a hydrant shall be marked with safety yellow stripping noted to be no parking area.
 10. All hydrants shall be installed in such a manner as to be unobstructed and easily accessed by the Fire Department at all times. LDC 14-2-138 (E).
 11. No person shall place or keep any post, fence, vehicle, growth, vegetation, trash or storage of other materials that would obstruct a fire hydrant or fire protection appliance and hinder or prevent its immediate use by fire department personnel. FFPC NFPA 1, Chapter 18, Section 18.3, Sub-division 18.3.3.3.1

12. Hydrants shall be placed a minimum of at least three feet but not more than 5 feet from roadways and driveways. Hydrants shall be placed at least 30 feet from structures. LDC 14-2-138 (E) (3).
13. Per FFPC NFPA 1 Uniform Fire Code, Chapter 1, Section 1.12: Installing fire alarm contractor shall submit shop drawings that comply with requirements of NFPA 72 National Fire Alarm Code, Chapter 4, section 4.5.1.1 for review and approval prior to work commencing.
14. Per FFPC NFPA 1 Uniform fire Code Chapter 1, Section 1.12: Installing sprinkler contractor shall submit shop drawings that comply with requirements of NFPA 13 Installation of Sprinklers, Chapter 14, Section 14.1.3 for review and approval prior to work commencing.
15. Per FFPC NFPA 1 Uniform fire Code Chapter 1, Section 1.12: Installing Fire Main contractor shall submit shop drawings that comply with requirements of NFPA 24 for review and approval prior to work commencing.
16. NFPA 101 30.3.5.1 All buildings shall be protected throughout by an approved automatic sprinkler system installed in accordance with 30.3.5.2
17. In accordance with NFPA 101 9.7.2 sprinkler systems shall be monitored in accordance with NFPA 72.
18. Per NFPA 1 18.2.3.2.2 Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of a building is located not more than 150Ft from the fire department access roads measured by an approved route around the exterior of the building or facility.
19. Per NFPA 1 18.2.3.2.2.1 When the buildings are protected throughout with an approved automatic sprinkler system that is installed in accordance with NFPA 13, NFPA 13D, or NFPA 13R, the distance in 18.2.3.2.2 shall be permitted to be increased to 450ft.
(Proposed buildings exceed the 450ft noted in this code) *REQUIREMENT MET*
20. Per NFPA 1 18.2.3.2.1 Fire department access road shall extend to within 50ft of at least one exterior door that can be opened from the outside and that provides access to the interior of the building.

KISSIMMEE UTILITY AUTHORITY

Compliance-No Comments

OSCEOLA COUNTY PLANNING DEPARTMENT

Compliance-Comments

OSCEOLA COUNTY SCHOOL BOARD

See Attached Comments

PARKS & RECREATION

Compliance-No Comments

PLANNING DIVISION

Compliance-Comments

See Additional Attached Comments

1. As this property is within a PUD, this must go through a PUD Site Plan process. Please resubmit a check for the correct fee - \$3,938.00.
2. Please provide a conceptual landscape plan that complies with 14-2-90 through 14-2-97 and 14-2-60(F) and the conditions of approval of DRC#13-083. Please overlay the landscaping over the utility plan so Staff can verify the no conflicts exist.
3. Per the conditions of approval of DRC#13-083, a tree survey indicating the location, size, and type of trees to be preserved and removed shall be provided with the PUD Site Plan submittal. Existing trees on the property and those within close proximity from adjacent properties shall be preserved in accordance with Section 14-2-93 and shall be barricaded & inspected prior to any future development of the site. In addition, Staff shall walk the site with the developer prior to construction plan approval in order to determine the condition of all trees to be removed and/or saved and to determine if additional trees can be preserved. Differing slopes to adjacent properties and/or a grade/fill greater than 6-inches within the dripline of any trees to be preserved shall be prohibited. 14-2-93
4. FYI: The current PUD is named "Westbury Commons." It may be beneficial to amend the name to something consistent with the proposed development. A PUD name change is \$506.00 and would only go through the DRC process.
5. There is an established development called Lakeside on the northeastern side of the City. It may be beneficial, to avoid confusion in the future, to revise the project name to remove reference to Lakeside from this development.
6. Provide building elevation plans (front, side, & rear), including building height(s), to ensure acceptable design and compatibility with Code and the surrounding properties. Where a building is proposed that is larger in mass and scale than buildings adjacent to the site, façades, rooflines, and architectural features in the form of entry porticos, window openings, awnings, canopies, etc., shall be designed in a manner that will provide visual relief and ensure consistency with the mass, scale and character of surrounding buildings. Architectural style, buildings materials, colors, and design features should serve to upgrade and enhance the surrounding area. Any façade visible from a public right-of-way shall have windows or other design features to avoid blank unbroken walls. In addition, show where all outdoor mechanical equipment including roof equipment is located and indicate by which means said equipment will be screened from view. 14-2-65(M); 14-2-195(I); 14-2-65(J)(1); 14-2-65(O)
 - a) External outdoor stairwells shall be prohibited. Entrances shall be established from a common interior breezeway or hallway. 14-2-60(F)(2)(e)
 - b) To avoid repetition of architectural styles, the following methods shall be provided. The following shall also apply to mixed use, multi-story complexes:
 - i) A variation of building designs and architectural styles;
 - ii) A sizable front yard planting spaces along the street face;
 - iii) The distance between adjacent driveway surfaces/garage doors shall vary,

iv) All buildings shall emphasize prominent architectural features, including gables, dormers, entranceways, vertically proportioned and trimmed front windows, and decorative porches or patios suitable in size to accommodate seating for the dwelling's occupants. All elevations shall incorporate a comparable proportion of window surface area and associated molding and muntins, exposed rafters, decorative gables, dormers, first and second floor horizontal divider banding, and decorative trim features. All elevations shall also incorporate the same amount of style of architectural detailing and materials along the roofline and eaves as that provided on the front facade.

c) Where faux or false windows are utilized in lieu of actual windows or dormers or other locations, the faux/false windows shall be constructed so as to appear as actual windows. As such, faux/false windows shall be constructed with significant details, with authentic molding materials, and with authentic sill and frame depths necessary to give the appearance of authentic windows enclosing an interior space. This standard shall also apply to all mixed use, multi-story complexes.

7. Provide the telephone number of the owner and applicant. 14-2-191(C)
8. The information under the legal description on the cover page appears to show the owner of a different project. Please revise plans accordingly. *WILL REMOVE*
9. The Legal Description appears to differ from what is shown on the Property Appraiser's website. Please clarify. *WILL CHECK INTO IT*
10. The property appraiser's office indicates that the acreage is 5.78, while the plans show 6.06. Please clarify which is correct and, if necessary, revise plans accordingly. *↗*
11. Provide the square footage of the two proposed buildings. *WILL DOUBLE CHECK*
12. There is a building on the southwest corner of this development labeled "M." Please clarify what this building is. *MAINTENANCE*
- *13. Indicate where any mail kiosks will be located.
 - a) Note: If mail kiosks and dumpsters are utilized, a minimum of two parking spaces or a bypass lane dedicated for the use shall be provided, in accordance with § 14-2-80, separate from the street or internal drive. 14-2-60(F)(3)(b) *AMENITY CENTER, CAN THESE BE INCLUDED IN OVERALL?*
- ✓14. Provide an open space plan showing which areas were calculated in the 2.21 acres.
- ✓15. Any development shall provide active recreational areas within the required open space. These active recreational areas shall be at least equal to 3% of the buildable land on the project site, or 150-square feet per dwelling unit, whichever is greater. Please provide calculations on the open space plan to show this requirement has been met. 14-2-60(F)(4)(b)
- ✓16. Any development shall provide passive recreation areas within the required open space. These passive recreation areas shall be equal to at least 15% of the buildable land on the project site. Please provide calculations on the open space plan to show this requirement has been met. 14-2-60(F)(4)(c)
17. All active and passive recreational open space acreage and amenities shall be at least 25-feet from any lot and/or building. Please provide the distance between the

⇒ CHECK W/ RANDY ON SIZE OF BIKE PATH CONNECTION

sport court and building to the south to show this requirement has been met. 14-2-60(F)(4)(d)(4)

- 18. Indoor or covered recreational spaces (e.g., swimming pools, sports courts, weight rooms, clubhouse, spas, and the like) shall not exceed 30% of the required open space acreage. Please show the calculations showing this requirement has been met. 14-2-60(F)(4)(d)(5)
 - a) NOTE: If bike paths, pedestrian trails, nature trails or similar pathways are provided, such paths shall be a minimum of ten feet in width and form an continuous loop. Sidewalks within public or private street tracts, and any sidewalk meant to connect to building, parking and streets cannot be counted towards open space requirements. 14-2-60(F)(4)(d)(5)
- ✓ 19. There appears to be a dead-end sidewalk east of the sport court. Please connect this to the sidewalk to the south. 14-2-60(F)(4)(d)(5)

⇒ CHECK ON MATERIAL BELOW
⇒ CHECK INTO ABOVE AREA.
- 20. What type of recreation is proposed in the area called "recreation?" Please provide this information on the open space plan. DOG PARK
- ✓ 21. If bike paths, pedestrian trails, nature trails or similar pathways are provided, such paths shall be a minimum of ten feet in width and form a continuous loop. Sidewalks within public or private street tracts, and any sidewalk meant to connect to building, parking and streets cannot be counted towards open space requirements.
- 22. Parking stalls must be a minimum of ten feet in width unless an administrative waiver is granted. If this waiver is requested, please provide a letter showing that one or more of the criteria in 14-2-80(C)(1)(b) has been met so Staff can review. Should this waiver be approved, revise the site data table note about waivers accordingly.
- ✓ 23. There are two 12.5-foot spaces on the southeast corner of the property. Please clarify what these are for. TURN AROUND FOR FIRE TRUCKS.
- ✓ 24. Landscape islands must be a minimum of 10-feet in width, per 14-2-94(C)(2)(C). Please revise dimensions of landscape islands accordingly.
- 25. Provide a note under the parking requirements that: of the total required spaces for multiple family housing developments, unassigned spaces (and thus potentially available for guests) shall be equal to at least one-half of the total number of dwellings. Also provide this calculation. 14-2-78(D)(1)
- 26. Place the following information in on the plans:

Alley edge of pavement	15 feet
Sidewalks	3 feet for small and medium trees 5 feet for large trees
Curbs and Gutters	5 feet
Driveways	5 feet
Fire Hydrants	10 feet
Intersections	35 feet
Manholes and Catch Basins	10 feet for small and medium trees 15 feet for large trees
Water Meters	5 feet
Utility Boxes	5 feet

Utility Poles	10 feet
Water Line, Sewer Line, Transmission Line, or other utilities	5 feet
Sewer Laterals	10 feet
Street Lights	10 feet for small trees 25 feet for medium and large trees
Regulatory Signs	Not to block sign

27. Note the following on the plans:
- a) Horizontal sight triangles shall be provided on the Site Plan and Landscape Plan accordingly:
 - i) Access Drive and Street: The areas of property on both sides of an access drive formed by the intersection of each side of the accessway and the public right-of-way line with two sides of each triangle being ten feet in length from the point of intersection and the third side being a line connecting the ends of the two other sides. Landscape plans shall show these lines.
 - ii) Two Streets: The area of property located at a corner formed by the intersection of two or more public rights-of-way with two sides of the triangular area being 25 feet in length along the abutting public right-of-way lines, measured from their point of intersection, and the third side being a line connecting the ends of the other two sides.
 - b) A vertical sight clearance shall be maintained within these triangles from 30-inches to 8-feet in height. All vertical site improvements shall be removed and/or kept clear from these triangles. 14-2-97(A-B)
28. Please provide the following minimum living areas on the plans. 14-2-60(A)
- a) No building intended for dwelling use shall have less than 500 square feet of living area for each dwelling unit;
 - b) 500-square feet for one-bedroom apartment dwelling units;
 - c) 750-square feet for two-bedroom apartment dwelling units; and
 - d) 1,000-square feet for three-bedroom apartment dwelling units.
 - e) Any dwelling with more than three bedrooms shall have an additional 100 square feet for each additional bedroom. In addition, all dwelling units shall comply with occupancy standards contained in § 13-1-14.
29. The plans show a note that there is a City Limit Line along the northern side of the property. As the subject property is bounded (on all sides) by properties within the City's jurisdiction, please remove this note.
30. Please include the owner, parcel ID, land use, and zoning for all adjacent property owners.
- a) The land use shown for the property to the north is incorrect. Please revise accordingly.
31. For your information, any Mobility and Impact fees will be due at time of permit issuance. To find out more information please contact Ashley Cornelison at 407-

518-2141 of the Development Services Planning Division for Mobility fees and Ray Biron at 407-944-5000 of the Toho Water Authority for water/sewer impact fees.

32. Add the project number DRC 16-00144 to each sheet.
33. Any signage requires a separate permit through the Building Division. Approval of this application in no way serves as approval of any signage.
34. All applicable code requirements of the City of Kissimmee Code of Ordinances shall be adhered to for any proposed use(s) and its processes.

Items to be addressed with Preliminary Site Development Plans submittal:

35. Provide a note on the geometry, demo, land clearing, and the grading sheets in capitalized letters indicating that when any roots of existing trees are encountered during land clearing and/or grading of the site, the roots must be cut off evenly with clean sharp pruning tools. The contractor/developer shall minimize the damage to existing tree root systems.
36. All utilities including telephone, television cable, and electrical systems shall be installed underground in easements suitable for maintenance and extension. Primary facilities providing service to the site may be exempted from this requirement. Large transformers shall be placed on the ground and contained within pad mounts, enclosures or vaults. 14-2-50(D)(9)
37. Is any temporary sales/leasing trailer proposed? If so, please provide a plan showing the location of this trailer and any proposed improvements associated.
38. Provide a photometric plan with the Preliminary Site Development Plan. Light locations and styles shall be chosen to reduce any potential light pollution spilling onto adjacent rights-of-way. Please provide location, photometric and shielding plan for proposed lighting accordingly. LDC 14-2-192(A)(3)
 - a) Note that site lighting poles shall not be located within any required landscape island. 14-2-94(C)(2)(h)
 - b) Street lighting shall be provided along all streets within the area between sidewalks and curbs, at intervals no less than 75 feet in length, and shall comply with illumination standards adopted by the city. To avoid conflicts with street trees and to provide pedestrian-scale lighting, street lighting structures shall not exceed 18 feet in height. Where sidewalks abut the curb, street lighting structures shall be provided as close to the curb as possible. Cast iron or similar street lighting shall be utilized. Concrete or aluminum poles and mast arms shall be prohibited. 14-2-60(F)(e)
39. Provide an irrigation system plan for all pervious areas, which indicate the location, type, connections, meter, rain sensor device, and backflow preventer. Said plans shall be provided in conjunction with preliminary site development plans and approved prior to final site development plan approval. 14-2-91(B)(12)
40. Dumpster enclosures shall be a minimum of six feet in height and shall be made of a finished, maintenance free material such as brick, split-faced masonry block, textured concrete or similar materials, which shall be consistent with the architectural style of the building(s) on site. Dumpsters and enclosures shall not be located between any building facade and adjacent street, except lots with three or more streets frontages, the dumpster and enclosure shall be located in the rear of the lot behind the facade of the building. A solid gate, made from pressure treated wood or

WILL NOT IRRIGATE BAHAIK

metal, shall be installed on the enclosure and shall remain closed at all times. Shrubs, a minimum of 30 inches in height and spaced a minimum of 30 inches on center shall be provided adjacent to three sides of the dumpster enclosure. Please provide a detail on the plans showing that this requirement has been met. 14-2-94(D)(2); 14-2-194(D)(2); 14-2-191(C)(18)

41. Each unit shall be self-contained with respect to utilities, heating and air conditioning. All outdoor mechanical equipment, such as heating, air conditioning and ventilation systems, shall be visually screened from the street or internal drive. This standard shall also apply to all mixed use, multi-story complexes. 16-2-60(2)(k)
42. All mechanical equipment located outdoors, such as heating, ventilation, air conditioning, refrigeration systems, and KUA transformers, shall be visually screened from adjacent rights-of-way. Provide the location of all such mechanical equipment, and indicate the location and types of screening to be used. 14-2-65 (K)
43. Provide a note that parking and outside of storage areas for boats, travel trailers, and similar equipment outside of storage areas shall be screened from view of the dwellings within the project, and shall be screened from adjacent property using one or a combination of landscaping, berm and/or decorative solid fencing, a minimum of six feet in height. Storage of equipment within the public and private streets shall be prohibited. 14-2-60(F)(4)(f)
44. Note: All streets, internal drives and alleys within the development shall be curbed. Curbs for streets shall be raised, Type F style curbs; however curbs for alleys may be drop curb or shoulder gutter style (i.e., Miami curbs). 14-2-60(F)(1)(h)

POLICE

Compliance-No Comments

PUBLIC SAFETY/911

Compliance-No Comments

PUBLIC WORKS & ENGINEERING

Compliance-No Comments

Comments to be addressed prior to DRC approval

- ✓1. If 9' wide parking spaces are approved, please add this information to the cover sheet and provide approval dates.
- ✓2. Please provide hardcopies of the landscaping and irrigation plans.
- ✓3. Please note: no landscaping trees shall be placed within the 20' wide wet pond or ditch maintenance berms. Revise as needed.
4. Please rotate or move the dumpster enclosure to provide a minimum 40' straight-in approach.
5. Please consider a compactor in lieu of dumpsters for this site. *BASED ON VOLUME OF UNITS*
6. Please provide minimum 10' wide parking spaces.
7. Please show how conveyance of runoff through the existing ditch where the 48-unit

- building is proposed will be accommodated.
8. Please indicate pavement type to be used on the site plan.
 - ✓ 9. Please indicate what the "M" building is.
 10. Please show the FEMA floodway boundary lines for the adjacent ditch on the site plan.
 11. Please indicate whether the proposed pond will be wet or dry retention/detention. Please note: a 10' wide unobstructed maintenance berm easement will be required for the property north of this site to facilitate a 20' wide pond berm for this site if a wet pond is proposed.
 12. Please note: cross-access, drainage, and maintenance easements will be required between this site and the site to the north. This will be required prior to final construction plan approval. *RYAN WILL CHECK ON THIS ONE*

Advisory Comments (no responses necessary)

- Please provide the Parcel Identification Number(s) of this property on the site plan.
- Please add the DRC reference number (DRC#16-00144) to the lower right corner of the cover sheet of the construction drawings.
- Provide the names of adjoining property owners from the latest assessment on the plan. If City of Kissimmee, please add this information also.
- Please add property boundary monumentation information on the survey and site plan.
- Please note: any work done within adjacent right-of-way subject to Osceola County review and approval. Please provide a copy of applicable connection permit(s) or NOI based on this design prior to construction plan approval.
- Provide dumpster enclosure details on the site plan. Please note: dumpster enclosure shall be constructed in conformance with City of Kissimmee Construction Standards and Specifications.
- Provide details for all work to be done on the adjacent property to the north, particularly in the area of the entrance.
- Please provide greater inflow/outflow pipe separation in the pond. Consider eliminating the pipe on the west side of the 60-unit building and making a connection to the pipe near the Sport Court.
- Please note: all plans and supporting documentation (except boundary and topo surveys) shall be certified by a Florida registered professional engineer.
- Please note: any changes to a previously reviewed set of plans shall be clearly indicated, either through comment responses or other written communication.
- Please note: additional comments may be forthcoming as a result of revisions to the plans or with submittal of supporting documentation.
- In the next submittal please show the location of the floodway.

To help assist you in the preparation of your DRC construction submittal we have listed below some of the major concerns that have arisen from our review of previous submittals so that the number of comments made can be minimized.

No responses to these comments are necessary.

- Please provide FEMA FIRM 2013 Flood Zone information on the plans. If this is not Zone X, please show flood boundary line(s) and provide Base Flood Elevation with datum used on the plans and ensure that proposed finished floor elevations are a minimum of eighteen inches above it.
- Provide a signed and sealed boundary and topography survey of the subject site to include one foot contours and vertical datum used. Let Topo survey extend a minimum of 25 feet into adjacent properties and show drainage patterns using spot elevations, drainage arrows and cross-sections along each property line
- Ensure the legal description and boundary on the site plan match the certified boundary survey provided.
- Make sure all owners are listed on the cover page. Also, provide names of adjacent property owners on the plans. Ownership should be consistent with the latest Osceola County Tax Assessment maps.
- Show pre and post-development total, pervious and impervious areas on the plans and provide drainage calculations to show that the 10 year/ 72 hour storm discharges are not exceeded if there is an increase in impervious area.
- Ensure no landscaping is proposed in drainage easements or swales. Also, ensure no trees are proposed within five feet of any storm drainage or other underground utilities.
- Locate the inlet and outlet of the pond so that there is no short-circuiting between them.
- The subgrade of proposed pavements should be stabilized and compacted to min. 98% density AASHTO T-180 with min. FBV = 50.
- In accordance with the Land Development Code section 14-2-135-(B) (2) commercial or industrial zoned projects shall provide at least ½ inch dry detention or retention pretreatment as part of the required stormwater retention/detention.
- The pond bottom for dry ponds should be a minimum of three feet above the normal wet weather water table in accordance with LDC 14-2-136 (B) (2).
- Provide garbage storage provisions on the site plan to include recycling. If dumpster(s) or compactor is used, then provide City Standard details on the plans and make sure a 40' unobstructed approach is provided. If curbside service is available, provide a visually screened area large enough to store three of the City issued trash cans.

SOUTH FLORIDA WATER MANAGEMENT DISTRICT
No Comments Received

TOHO WATER AUTHORITY

Compliance-Comments

1. Fees will be due.
2. Additional comments during construction plan review.