

CITY OF
KISSIMMEE



DESIGN MANUAL
FOR THE CRA OVERLAY DISTRICT



Adopted June 2008

Amended August 2012

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City of Kissimmee
Design Manual for the CRA Overlay District



INTRODUCTION &
STRUCTURE



INTRODUCTION AND STRUCTURE of the Manual

PURPOSE

The purpose of this series of documents is to bring together a comprehensive set of design guidelines and standards for new development in the City of Kissimmee Community Redevelopment Area (CRA) in order to ensure compatibility with the urban design and built character of the surrounding community.

These guidelines are primarily intended for new development and redevelopment that is anticipated to occur in the CRA in the coming years. They are intended to preserve the economic investments made in the CRA by ensuring that all future improvements will maintain a consistent visual character and high quality of design and construction.

The overall intent is to ensure that residents and businesses who have made investments based on the quality and character of the built environment of Kissimmee have a reasonable assurance that those investments are supported through a consistent visual character for the CRA into the long-term future. The use of agreed-upon standards for new development should, in the long run, benefit everyone – ensuring that the CRA will maintain a consistently high quality design character that can be a source of pride to the citizens of Kissimmee as a whole.

HISTORIC BACKGROUND

The downtown and surrounding areas of Kissimmee traditionally served as the economic hub of the cattle ranching and agricultural landholdings in the surrounding area until well into the first half of the 20th century when urbanization and economic shifts altered their role in the local economy. Recently, many historic downtowns in Florida and throughout the country have experienced a resurgence of economic activity, centered partly on the establishment of CRA's to spur downtown reinvestment. For Kissimmee, new development and redevelopment in the CRA holds the promise of restoring prosperity to the downtown as a regional hub while maintaining a traditional focus on the history and heritage of the City and its livable neighborhoods.



Street Scene, 1885

Recently, many historic downtowns in Florida and throughout the country have experienced a resurgence of economic activity, centered partly on the establishment of CRA's to spur downtown reinvestment. For Kissimmee, new development and redevelopment in the CRA holds the promise of restoring prosperity to the downtown as a regional hub while maintaining a traditional focus on the history and heritage of the City and its livable neighborhoods. This potential for renewed prosperity in the area brings with it a need to ensure that new development in the CRA is designed in a way that maintains the historic visual character that has given Kissimmee its unique charm and high quality of life.

USERS OF THE DOCUMENT

The primary users of this document are intended to be landowners, business owners, developers and public agencies that intend to develop new properties or renovate existing properties in the CRA. As listed below, the document is organized into separate volumes, based on the primary aspects of urban design that are addressed within the CRA as a whole.

DOCUMENT STRUCTURE

This overall CRA Design Manual is organized into 3 volumes as follows:

Volume I: Design Intent of the CRA District

These are a set of overall design principles for effective streetscape, building and site design that apply to the whole CRA, and form the basis for all the more specific design standards that follow

Volume II: Private Development Standards

These are a set of specific and ‘measurable’ design standards that are intended to regulate the overall form and character of private development in the CRA. They are intended to be used in addition to the city’s Land Development Code. The Private Development Standards are organized into four distinct ‘character districts,’ according to sub-districts or neighborhoods within the CRA.

Volume III: Architectural Guidelines

These are specific stylistic guidelines to ensure that new development follows a consistent and harmonious architectural character in the CRA. They are intended to apply to all buildings in the CRA, and to be administered by the Architectural Review Committee, a subcommittee of the Development Review Committee.



PLANNING AND REGULATORY CONTEXT

This document builds upon the current CRA Master Plan and Land Development Code (LDC) of the City. It shall be applied to all projects contained within the CRA Overlay District.

Application of the Design Manual

- The requirements outlined in this design manual shall apply to all properties within the Community Redevelopment Area Overlay (CRAO) District.
- All development and redevelopment, including exterior site and/or building improvements, within the CRAO shall be reviewed for compliance with these Standards at the time of site plan or building permit review.
- This Design Manual is intended for use in conjunction with the requirements of the City of Kissimmee Land Development Code.
- Where the Land Development Code conflicts with the Design Manual or remains silent, the Design Manual shall prevail.
- Where the Design Manual remains silent, refer to the applicable requirements in the Land Development Code.

Development Review Process for improvements requiring submittal of a Site Specific Redevelopment Plan (See 14-2-190B for requirements)

1. Pre-application conference with Development Services Planning Staff (recommended). During this conference, size of project will determine whether it is to be considered a Major Project.
2. Submit site specific redevelopment plan to Development Services Department, Planning Division. For Major Projects, submission shall be accompanied by a Developer's Agreement.
3. Development Review Committee (DRC)/Architectural Review Committee (ARC) review and approval
4. Submit site development plans to Development Services Department, Planning Division
5. Submit building construction plans to Development Services Department, Building Division
6. Preliminary review and comment of site development plans and building construction plans
7. Resubmit site development plans and building construction plans for final review and approval
8. Development order issued

Development Review Process for improvements NOT requiring submittal of a Site Specific Redevelopment Plan (any exterior structure improvements)

1. Pre-application conference with Development services Planning and Building staff (recommended)
2. Submit building construction plans/permit application to Development Services Department, Building Division
3. Plan reviewer/Architectural Review Committee (ARC) review and approval
4. Permit Issued

PLANNING AND REGULATORY CONTEXT, (CONTINUED)

Administrative Waivers as outlined within the Design Manual

The Design Manual includes minimum and maximum ranges for several topic areas in an effort to allow maximum flexibility in development. Applications for administrative waivers shall be considered only for those site design features that are not specifically addressed by minimum and maximum standards. All waivers shall be approved and reviewed by the Development Services Director (or designee). Waivers shall be reviewed on a case by case basis and shall be evaluated in a manner which gives consideration relevant to characteristics of the use, the rest of the development, and surrounding area – including those characteristics related to compatibility and physical feature or infrastructure constraints.

Major Projects

A major project shall be defined as any development or redevelopment project on a site greater than or equal to three acres; or greater than or equal to 50,000 g.s.f.; or greater than or equal to 15 dwelling units. For major projects in the CRA District, the proposed applicant shall enter into a Developer's Agreement with the City. The Developer's Agreement will outline specific design considerations, and schedule and phasing plans consistent with the overall design intent of the CRA District as defined herein the Manual. This Developer's Agreement is intended to provide reasonable flexibility to the applicant in interpreting the intent of the design guidelines given the scale of the proposed project.

Green Building Projects

The City of Kissimmee recognizes the value of encouraging green buildings techniques. As such, for those projects seeking to attain Leadership in Energy and Environmental Design (LEED) certification from the U.S. Green Building Council, the applicant shall notify City staff during the pre-application conference and provide a copy of the draft LEED's application checklist. Should specific green building techniques be in conflict with the Design Manual, an administrative waiver can be granted or Developer's Agreement drafted pending approval by the Development Services Director (or designee).



DEFINITIONS

Arcade:

Pedestrian arcades are permanent roof-covered walkways that span the length of a building or group of buildings.

Awning Signage:

A sign, logo, or lettering placed on an awning which is supported entirely from the exterior wall of a building.

Building Frontage:

Building frontages are the interface between the public street and the building interior. Standards regulate the percentage of the front edge of a building that shall be located on the front setback line.

Building Identification Sign:

A sign that is permitted to be installed only on a building with over 3 stories in height to identify the name only of that building.

Build to Line:

A line parallel to the block face, along which a building shall be built. The intent of a build-to line is to pull the building facade close to the street and streetside sidewalk.

Facade:

The face of a building from the ground to the roof line.

Fenestration:

Transparent or semi-transparent door or window openings.

Floodlight:

An artificial light source designed to give direct and/or reflective illumination over a large area. Vehicular parking lighting sources, wall packs, and security/surveillance lights shall be considered as floodlights.

Illumination, External:

Any sign illuminated by shielded electric lights which are not part of the sign.

Illumination, Internal:

Any sign having characters, letters, designs, logos or outlines illuminated by electric lights located within the sign or luminous tubes designed for that purpose.

Lot Coverage:

Percentage of a given lot that may be built upon.

Massing:

Massing describes the physical shape and form of a building or group of buildings.

Message Center sign:

A sign on which the message can be changed electronically, manually or mechanically, including time and temperature and tri-vision signs.

DEFINITIONS, CONTINUED

Monument Signage:

Any free-standing solid monument structure containing a sign face which is supported solely by its own ground-mounted base (or poles not exceeding 2 feet in height) and which is not attached or affixed to a building or other structure.

Pole-Mounted Signage:

Any sign mounted on a pole, poles, or a pylon that is wholly independent of any building and/or other structure for support.

Porch:

A roofed space attached to the outside of an outer wall of a building, open on one (1) or more sides, which may have railings, screen or glass enclosure.

Post Sign:

A sign that is not attached to a building but is supported by braces, post, or by any other means than by attachment to a building support. By way of example, but not limiting the meaning, a post sign is a free-standing sign comprised of a vertical post to which a perpendicular arm is attached and from which a sign hangs.

Projecting Sign:

A sign attached to a building wall or other structure and extending perpendicular to its face a minimum of 15".

Residential Conversion:

Residential conversions are homes converted into offices or other uses within the CRA.

Setbacks:

Required distance measured from the property line to the adjacent, parallel edge of a building.

Spatial Enclosure:

Spatial enclosure is the physical relationship of building height to roadway width.

Stoop:

A small platform and/or entrance stairway at a house door, commonly covered by a secondary roof or awning. The stoop shall project from the primary front building plane. Catwalks or breezeways are not considered stoops.

Wall-Sign:

A sign which is affixed to and flat against an exterior facade of a building.

Window Sign:

A sign which includes lettering adhered to the pane of glass or signs attached inside a store front window or door indicating the name of the business and/or service.



City of Kissimmee
Design Manual for the CRA Overlay District



DESIGN INTENT OF THE CRA
DISTRICT



VOLUME I

DESIGN INTENT OF THE CRA DISTRICT

VOLUME I

VISION

The City's vision for the downtown area is to create a vibrant, walkable, mixed-use environment that can attract and support a diversity of new housing, employment and retail uses. Accomplishing this requires a built form that encourages pedestrian activity by enhancing the public realm. Creating places for people to gather, providing access to the City's waterfront, encouraging streetscape and building features that respond to the pedestrian scale are major goals of the Design Manual. Redevelopment shall be architecturally and visually compatible with the City's historic built fabric and character, while still reflecting the best in contemporary design and development practices.

OVERALL DESIGN INTENT

The Kissimmee CRA District should provide an opportunity for revitalization into a mixed-use environment that recognizes its economic importance in Osceola County, its unique situation as the historic core of the surrounding area and its existing residential, business, recreational and open space uses. The purpose of this revitalization is to:

- Support the existing businesses and residents and weave them into a mixed use district with compatible new development and redevelopment that provides economic benefit to the City.
- Encourage mixed-use development, including new medical and general office, resort and tourism-related uses, waterfront housing, employment, and pedestrian-oriented retail with a design character and scale that is compatible with the existing surroundings. New development should strive to incorporate features that respect the area's architectural heritage while also introducing modern features that are complimentary to the existing urban design framework.
- Establish strong visual and physical (vehicular and pedestrian) connections to the historic core of Kissimmee and the surrounding areas such as the Lake Toho waterfront.
- Provide vehicular and pedestrian circulation that ties the District together internally and with surrounding areas and recognizes the unique historic and commercial environment of the site.
- Ensure orderly development in the CRA District that will enhance the revitalization of the City as a whole and augment the economic well being of the City and its citizens.
- Create a positive image for the District that will stimulate private and public investment within the area.

PURPOSE OF THIS SECTION:

As summarized in the overall introduction to the Standards, the purpose of this section, “Design Intent of the CRA District,” is to provide a set of overall design principles for effective streetscape, building and site design that applies to the whole CRA, and forms the basis for the more specific design standards in the subsequent sections of this document.

Each topic area describes the general design intent and principle, as well as providing a series of detailed guidelines that explain the characteristics of each design principle, and giving illustrations of how each principle can apply in the typical built environment. The illustrations include examples both from Kissimmee and from other communities, and are meant to provide examples of development that is compatible with the design intent of the CRA Overlay District.

This volume does not comprise the design standards themselves – instead, it describes the underlying concepts behind all the other design standards in this document. It is recommended that anyone contemplating any kind of development in the CRA should consult this volume as an overview of the urban design intended for the CRA; then go on to study the particular section(s) of the document that address their development proposal.



STRUCTURE AND USE OF THIS SECTION:

This section is organized into a series of topic areas, consisting of:

I.A. Streetscape

1. sidewalks_____ p. I-4
2. crosswalks_____ p. I-4
3. bike lanes_____ p. I-5

I.B. Building Elements

1. setbacks _____ p. I-6
2. building orientation_____ p. I-6
3. spatial enclosure_____ p. I-7
4. building massing_____ p. I-7
5. fenestration_____ p. I-8
6. building frontage_____ p. I-8
7. arcades_____ p. I-8
8. awnings_____ p. I-9
9. porches, stoops, and balconies_____ p. I-9

I.C. Site and Street Frontage

1. lighting_____ p. I-10
2. street furniture_____ p. I-10
3. public landscaping_____ p. I-11
4. private landscaping_____ p. I-11
5. private signage_____ p. I-12
6. public signage_____ p. I-12
7. parking types_____ p. I-13
8. parking access_____ p. I-14

I.A STREETScape

Streets must provide an efficient and interconnected network for pedestrians, bicycles, and vehicles. Street function and appearance must be balanced with the built environment to create a pleasant and safe experience for travelers, residents, and business owners. An interconnected street network disperses vehicular traffic, allowing for narrower streets and a more comfortable pedestrian environment. On-street parking and street trees help define a comfortable pedestrian realm buffered from vehicular traffic and bulb-outs help to shorten intersection crossing distances for improved pedestrian safety.

1. sidewalks

The sidewalk is one of a variety of design elements that together contribute to an active and vibrant streetscape. Promoting a walkable environment requires safe, accessible, and connected sidewalks that unite the pedestrian with a desired destination or activity.



Public sidewalks on both sides of urban roadways are designed to a width that encourages pedestrian activity desired in a particular area.

2. crosswalks

Crosswalks are a critical element of the pedestrian network. Safe and convenient crosswalks make a sidewalk system usable and appealing, encouraging pedestrian activity. Pedestrian crossings need to be designed to reduce the crossing distance and provide high visibility to both the pedestrian and oncoming vehicular traffic.



Crossing distances of under 50' help ensure safety and visibility. Bulb-outs can be used at intersections to effectively shorten the crossing distance, calm traffic through the intersection, and increase visibility. In order to make crosswalks more visible to oncoming traffic, crosswalks can be characterized by a change in pavement color or texture, and make use of white paint striping and/or reflective materials. Intersections and crossing areas with heavy traffic or wide crossing distances require crossing signals to aid pedestrians and motorists.

I.A STREETScape

3. bike lanes

The selection of appropriate streets for bicycle lanes is very important for the safety and the continuity of the bicycle system. Streets that provide the most direct and safest route to popular destinations such as business districts, schools, parks, etc., and trail heads should be primary choices for inclusion in the on-street bicycle system.



Striping, signing, and special pavement markings designate areas to be exclusively used by bicyclists. In circumstances where on-street parking occurs, bike lanes are located between the parking area and the travel way.



I.B BUILDING ELEMENTS

1. setbacks

Building setbacks may be regulated to reinforce a desired street character. Minimal front setbacks are recommended to encourage pedestrian activity along the sidewalk.



Building entries border main streets and public thoroughfares to foster vibrant, walkable streetscapes and allow for clear pedestrian access and circulation.



Additional setbacks may be used where necessary for outdoor dining, on-street marketplaces, courtyards, or plazas. In mixed-use or high-density residential areas, minimal side setbacks and/or use of party walls is ideal.



Development that lacks street frontage may discourage pedestrian activity and/or require automobile access.

Incompatible

2. building orientation

Building orientation is the way a building or group of buildings address the street and help to shape the character and image of a place.



Requirements often call for building facades to span the entire width between side lot setbacks on primary streets. This requirement helps to create an uninterrupted street wall such as may be desired along a main street to promote a vibrant and active streetscape.



Large gaps in street wall are incompatible with the design intent of the CRA. Interrupting the street wall can discourage pedestrian activity by increasing the distance between potential destinations.

Incompatible

I.B BUILDING ELEMENTS

3. spatial enclosure

Spatial enclosure focuses on the physical relationship of building height to roadway width. Building heights are regulated according to what works best to enclose the streetscape, provide an appropriate density, and create a comfortable, pedestrian scaled environment.



Pedestrian-scaled streetscapes typically range from 1:2 to 1:4 building height to roadway width. The 1:2 range of spatial enclosure is typical of an average town center.



A ratio of 1:4 may be more appropriate for smaller zones that transition into residential areas. Additionally, taller street trees can help reinforce the sense of streetscape enclosure.

4. building massing

Massing describes the physical form of a building or group of buildings. Massing compatible with the surrounding area and predominant style of buildings creates a streetscape that maintains a consistent scale, while allowing unique articulation between buildings.



Variations in height and horizontal divisions helps to create facade articulation. Windows, entryways, plane projections or recesses, arcades, colonnades, sidewalk displays, or similar features visually break up the mass of a building facade. Additionally, awnings or overhangs help to enclose the pedestrian space, providing a comfortable sense of scale. The placement and size of building elements relative to the main massing of the building is critical to the overall perceived scale of a building.



The larger the expanse of a wall, the larger the structure appears to the pedestrian on the street. Single, undifferentiated, uniform building masses are incompatible with the intent of the CRA District.

Incompatible

I.B BUILDING ELEMENTS

5. fenestration

Transparent building façades generate interest for the pedestrian and improve security through enhanced visibility.



For non-residential uses, storefront windows and doors help create an inviting environment for pedestrians. Shop windows break the monotony of a street wall and welcome pedestrians in off the sidewalk. Additionally, where facades create a continuous street wall, maximizing street-front fenestration will provide the best opportunity for natural interior lighting.



Despite following the general design principles of articulation and massing, this building remains unwelcoming to the pedestrian because it lacks appropriate fenestration. Awnings, typically used to highlight entryways or windows, appear out of place when not part of a window or door.

Incompatible

6. building frontage

Building frontages are the interface between the public street and the building interior.



Main building entries that border main streets and public thoroughfares help to create vibrant, walkable streetscapes and provide clear pedestrian access and circulation.

7. arcades

Pedestrian arcades are permanent roof-covered walkways that span the length of a building or group of buildings. Arcades provide shade and protection from weather elements while often contributing to the interest and vitality of a streetscape.



Arcades span a reasonable distance so as to provide a distinct streetscape experience. Evenly spaced columns or openings create rhythm and articulation on the street. Arcades are open structures and should not be enclosed when fronting a primary street.

I.B BUILDING ELEMENTS

8. awnings

Awnings contribute to the overall image of a streetscape by highlighting significant features, providing visual continuity, and helping to provide protection from sunlight or inclement weather.



Awnings are usually located over doors and windows on the first floor. Awnings add color and interest to the streetscape, framing building elements such as windows and doorways.



Overly uniform streetscape elements can lead to a monotonous and bland streetscape. Varying awning height and color, material, and design helps to break up the repetition of architectural elements.

Incompatible

9. porches, stoops, and balconies

Porches, stoops and balconies provide a transitional space between the public and the private realm and between indoor and outdoor space.



Porches and stoops are typically covered structures extending outward or recessed into the building structure. Porches and stoops help to break down the mass of a building to a pedestrian scale, accentuate the point of entry, and provide shade and shelter from rain.



Balconies are typically vertically stacked structures used in residential, apartment, or mixed-use buildings to provide semi-private outdoor space. Balconies may be useful in creating a covered space along a sidewalk or residential entryway. Balconies should not protrude into the right of way and when located next to a public sidewalk, should provide sufficient vertical and horizontal clearance for pedestrian movement. Materials, colors, roof lines and other architectural elements should be compatible with the architecture of the building and design intent of the District.

I.C STREET AND STREET FRONTAGE

1. lighting

Pedestrian lighting guides pedestrians along intended walkways and highlights destination points. In pedestrian-oriented areas such as the CRA District, lighting should be scaled to the pedestrian (not the automobile) and oriented towards the sidewalk and the roadway.



Scale, intensity, and fixture design vary between areas of different densities and uses. Ornamental light posts and fixtures help to create an attractive streetscape and should be consistent with the architectural character of the immediate area. In addition to aesthetics and scale, lighting is an important element of public safety. Well lit streets and alleys help to promote a secure environment and encourage night time activity. Using light shields will help keep light focused downward and support “dark sky” standards.



Wherever sidewalks are present, lighting at the pedestrian scale oriented toward the sidewalk helps to maintain safety and visibility.

Incompatible

2. street furniture

Benches and public seating allow pedestrians to rest and congregate and can help to enliven or activate a public streetscape.



To create a cohesive urban environment, seating should be integrated with other urban design elements, such as planters or low walls. Street furniture that is consistent with the district theme and scale provides adequate space for 2-3 strangers to sit comfortably. Shade enhances the user’s comfort and arm rests will discourage sleeping on benches.

I.C STREET AND STREET FRONTAGE

3. public landscaping

Landscape design aesthetically complements and enhances the character of buildings, roads, and the pedestrian streetscape. Different landscape strategies depend on building scale, density, thoroughfare type, and land use.



Street trees help to integrate the roadway with the surrounding area and ease the transition between center and edge conditions. Street trees buffer the sidewalk from the roadway and break down the scale of the street. They provide shade, aesthetically enhance the streetscape, and can be used to highlight important gateways or districts.



Landscaped medians help to create a sense of place, enhance roadway aesthetics, and improve air quality. Median landscaping in a pedestrian-oriented area includes low landscape shrubs, grasses, flowers, or well-manicured street trees that are limbed high enough to preserve visibility between cars, bicycles and pedestrians. Landscaped medians can reinforce the sense of arrival into a distinct place. Using color, texture, variety, and a well-maintained mix of landscaping in the median will tend to slow traffic, and encourage pedestrian activity.

4. private landscaping

The private realm includes the area that extends beyond the public streetscape to privately owned space, such as houses and front yards, or privately owned businesses. Within the private realm, landscape is an important technique for both unique stylistic expression and for contributing to the collective character of a place.



Landscape elements in the private realm include trees, canopy or ornamental, foundation planting, flower or plant beds, and lawns. Hedges, trees, and shrubs are often used for transition between the public and the private realm and can contribute to a more private frontage space or screening device. Aesthetically, it is important to select plants that complement architectural features and materials and frame building entryways. Foundation planting can often help soften hard architectural lines and screen unadorned, or unsightly facade surfaces. Vary the use of colors, forms, massing, and styles to create a vibrant and beautiful environment.

I.C STREET AND STREET FRONTAGE

5. private signage

The character of a community, neighborhood, or district can be reflected in the design of signage. Signs that are sensitive to nearby non-commercial uses, respect the scale and proportion of buildings, and contribute to the ambiance of a place can help secure and maintain a healthy economic climate. For a business district, signs are the public face that, when viewed collectively, define the image of an area and can influence the perception of its overall economic health or decline.



Placement, format and design are critical to the visibility of signage. Signage design should reflect the streetscape context with consideration of both pedestrian and vehicular traffic. Lower speed vehicular traffic and increased pedestrian traffic within the CRA District should guide signage design.



Signs that compete for the driver's attention can become overly cluttered and distracting. Facade-mounted and street level signage are preferred to tall, isolated signs that create visual clutter and distract motorists. Billboards are not currently permitted in the CRA.

Incompatible

6. public signage

Public signage includes a variety of district identification signage used to highlight important streets, districts, and precincts. Coordinating the placement and graphics of district signage will help to present a unified identity for the district and its corridors.



Public signage can serve to announce arrival into a particular part of the city, district or special destination. This is particularly significant at intersections. Scale the sign and its text for legibility by both pedestrian & automobile traffic. Bracket type banners on pedestrian light poles can be used to announce an important area of the city or gateway. There is already a well developed public wayfinding signage program in the CRA. It is important that new public signs be designed in concert with the current public signage standards.

I.C STREET AND STREET FRONTAGE

7. parking types

The proper supply, placement and design of parking are key elements in creating an environment conducive to pedestrians, bicyclists, transit users, and those traveling by car. Creative strategies to reduce the oversupply of parking should be considered. Redevelopment projects should seek opportunities for strategies such as shared parking which allows activities and functions with different peak hours to use the same spaces, significantly cutting down the total number of spaces required within a given area.



On-street parking occurs within the right-of-way, contributing to the street environment, and helping to buffer the sidewalk from vehicular traffic. Evenly spaced along the street edge, on-street parking helps to maintain the visual consistency and appeal of downtown areas.



Structured parking is appropriate in high-density areas. Garages reduce the total amount of paved area and can fit well into an urban environment, maintaining scale and facade articulation. Locate garages within block interiors wrapped by perimeter linear buildings or as stand alone structures that can easily integrate first floor retail. The proportion, rhythm and massing of a garage should reflect that of surrounding buildings.



Surface parking lots should be located to the rear of buildings or in block interiors to minimize visual impact. Trees provide screening and noise reduction. Landscaping within parking lots helps reduce storm water runoff, filters air, provides shade, and helps to maintain property values.



Residential parking is a significant component of most neighborhoods. Frequently, driveways and garages have a dominating presence along residential streets. To enhance the pedestrian-orientation of residential streets and create a stronger connection between homes and the street, new garages should be set back from the front entry of residences. This helps to separate the house volume from the garage volume, better balancing the relationship between the home and street and vehicles and pedestrians. In higher-density residential areas, residential alleys prove an effective way of providing private driveways and garages without limiting potential density.

I.C STREET AND STREET FRONTAGE

8. parking access

Access management is a key component to a functioning street network that accommodates both pedestrians and automobiles. Successful access management makes use of one alleyway or entrance to a common parking lot, usually internal to a block or behind a set of buildings. Shared access strategies help reduce pedestrian and bicyclist conflicts with automobiles and help maintain traffic flow.



Parking to the rear of buildings and providing on-street parking helps to create a more continuous streetscape and a pedestrian-friendly environment.



Accessing businesses from the primary roadway via individual driveways is typical of auto-oriented streetscapes. The sidewalk is interrupted by driveways decreasing pedestrian safety. The primary roadway traffic is also interrupted by turning vehicles. Consolidating driveways will lessen these interruptions and help encourage pedestrian activity.

Incompatible

City of Kissimmee
Design Manual for the CRA Overlay District



PRIVATE DEVELOPMENT
STANDARDS



VOLUME II

City of Kissimmee Design Manual for the CRA Overlay District

PRIVATE DEVELOPMENT STANDARDS

VOLUME II

PURPOSE OF THIS SECTION:

As summarized in the overall introduction to the Design Manual, the purpose of this volume “Private Development Standards” is to provide a set of ‘measurable’ design standards that are intended to regulate the overall form and character of private development in the CRA District. They are intended to work in concert with the Land Development Code, and establish a key part of the overall urban design framework for new development in the area.

STRUCTURE AND USE OF THIS SECTION:

The Private Development Standards are organized into four distinct ‘character districts:



A. Gateway District:

Generally the downtown district, and extending north along the Main Street corridor up to the CRA boundary at Vine Street

B. Mixed Employment District:

The blocks and streets around the Hospital, Rinker and Beaumont Constitutional Office Complex

C. Courthouse District:

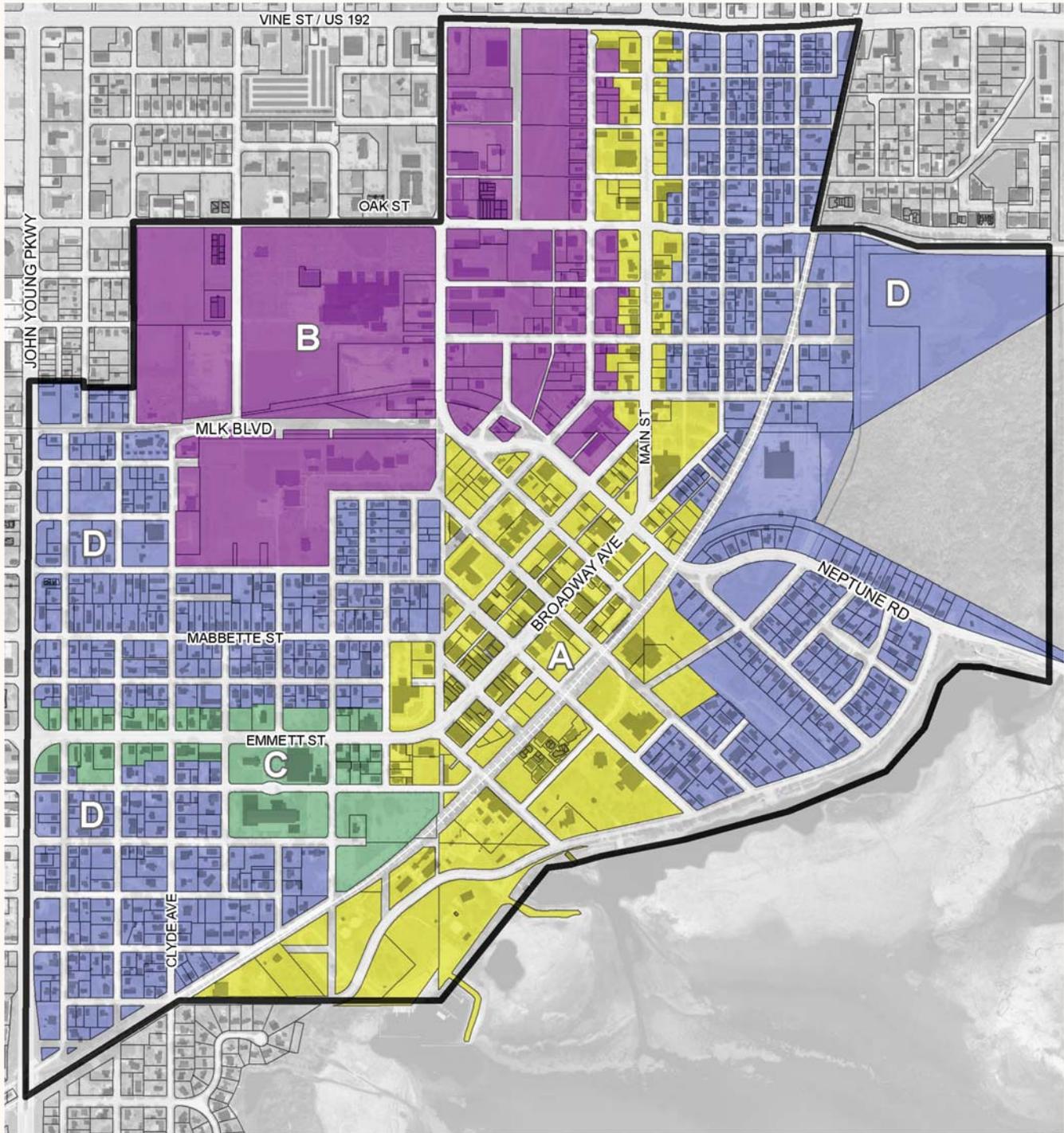
The civic and mixed use commercial area that forms a transitional edge from the Gateway to the Neighborhood District

D. Neighborhood District:

The remaining sections of the CRA, including the stable residential neighborhoods, but also the edges of the residential districts that include properties being converted to low intensity office uses

CRA DISTRICT MAP

The CRA District Map identifies the boundaries of four general districts: A- Gateway District, B- Mixed Employment District, C- Courthouse District, and D- Neighborhood District. For properties located in more than one District, the property frontage shall define which District guidelines shall apply.



STRUCTURE AND USE OF THIS SECTION:

The CRA District map identifies the boundaries of each district. It is recommended that applicants for any development approvals in the CRA District first identify the district in which their property is located, and then use the specific tables of standards for that district. Each district has tables that are broken down by topic, as follows:

STANDARDS BY DISTRICT

Each topic lists the specific standards that must be followed, illustrated with diagrams to clarify the dimensional and area standards and ways of measuring them.

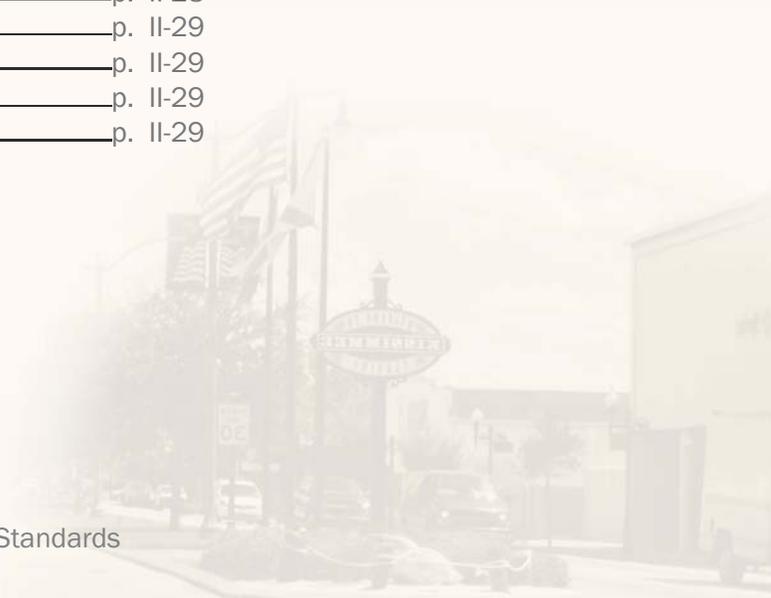
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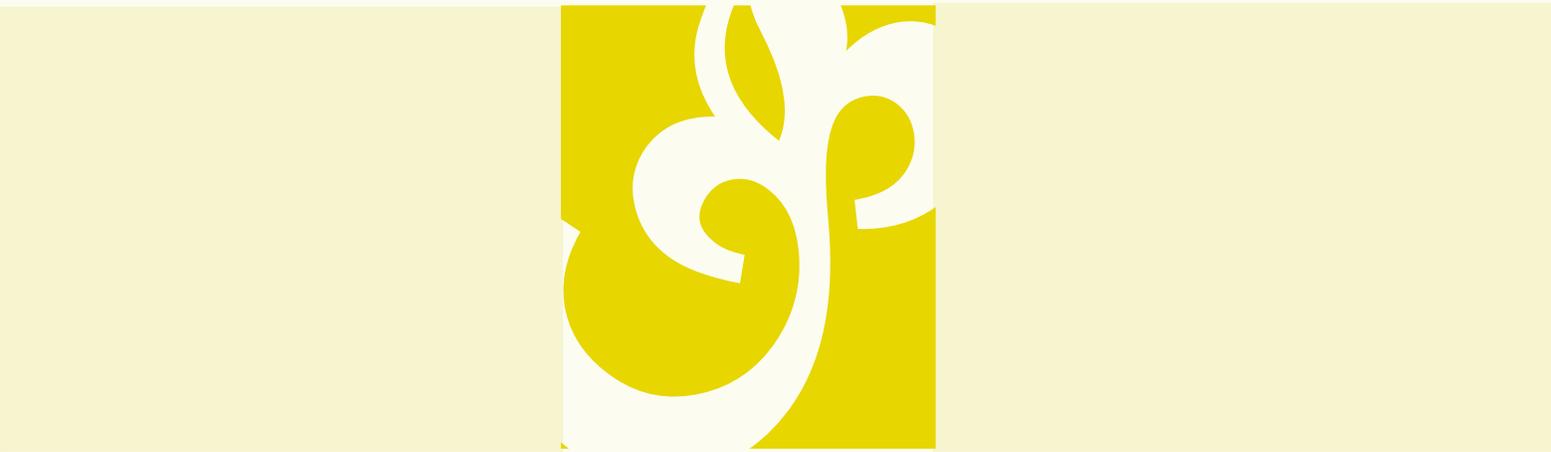
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A. GATEWAY DISTRICT



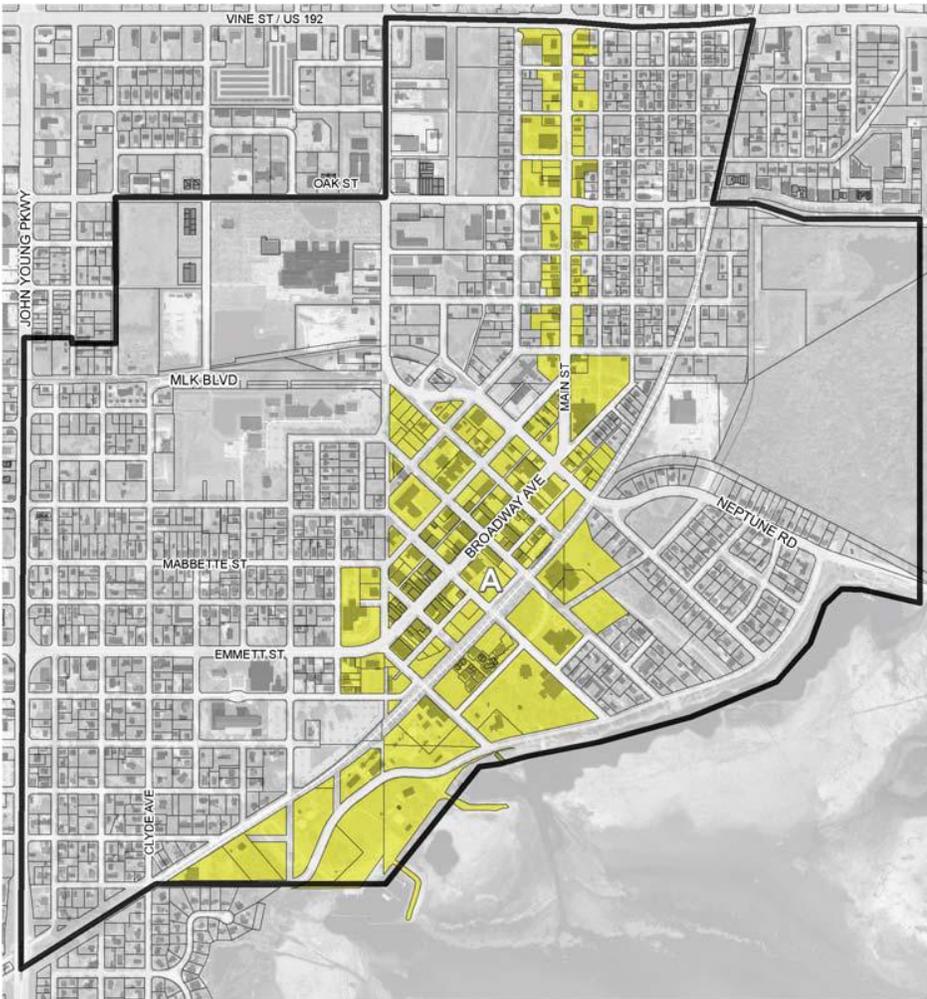
II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT



Introduction to the Gateway District

The Gateway district combines two of the functional sub-areas that were defined in the overall CRA Master Plan (adopted, 2003) – the “Downtown” and “Main Street Gateway” sub-districts. This district is the traditional commercial and administrative hub of the City. It combines the historic downtown shop fronts of Broadway, with the semi-urban commercial strip along Main Street, and the attractive residential and recreational areas along Lake Tohopekaliga.

Photo of downtown Kissimmee



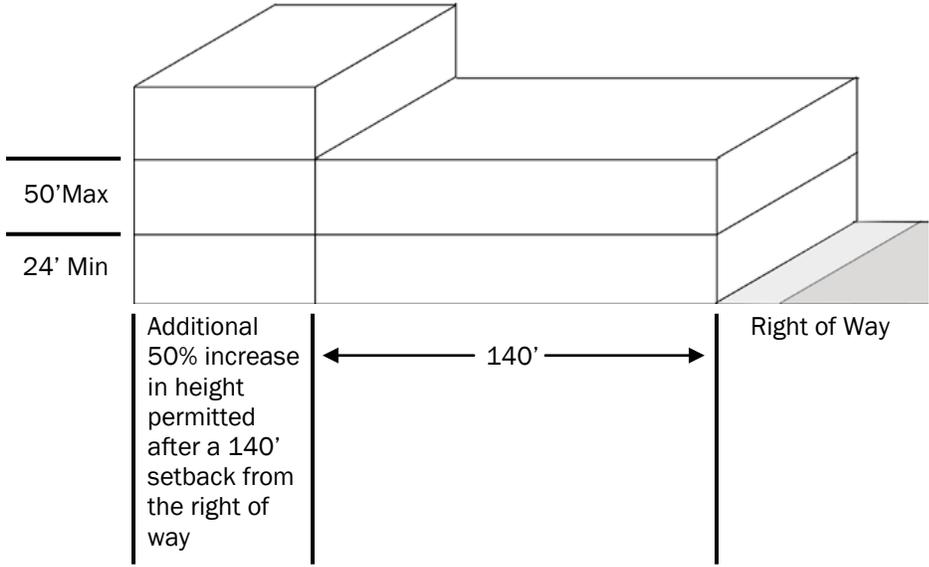
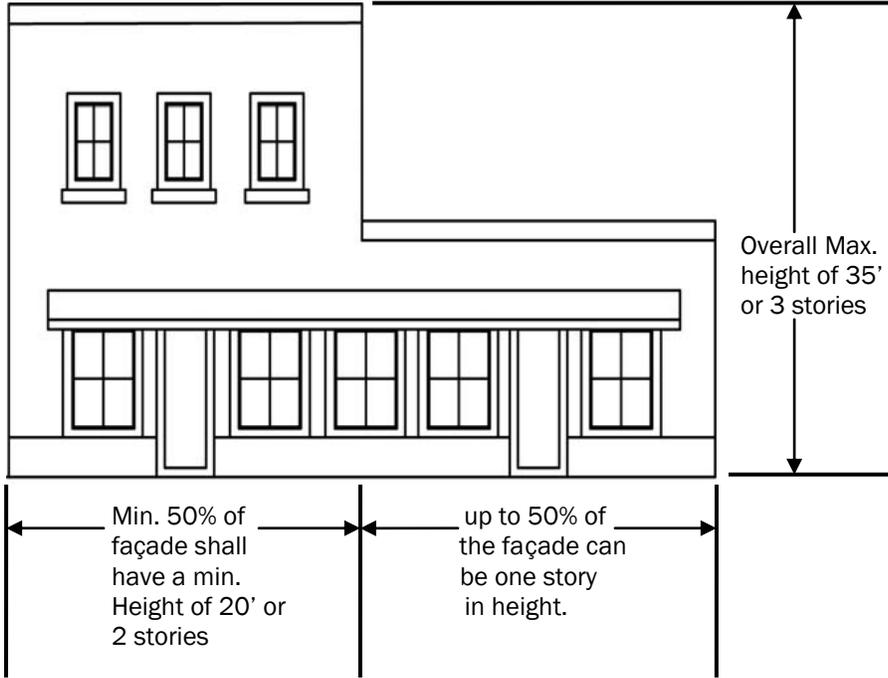
The reason that these sub-districts have been combined into one overall design character district is to create a unified harmonious urban design and architectural pattern in this area. It is envisioned that as the areas along Main Street, the lakefront and downtown are redeveloped over time, they should begin to all reflect the historic Main Street character that is traditional to Kissimmee. While still allowing for variation and the best of modern design, the following standards will help ensure that new development is in harmony with downtown’s rich architectural heritage of traditional commercial shop fronts and mixed use character.

Gateway District Key Map

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

1 SITE DESIGN	
<p>a. building setbacks</p> <p>Front facade: Street-front setbacks (front or side) for all areas shall be a minimum of 5' to a maximum of 15'. The same standards apply to corner lots.</p> <p>For all areas in the Gateway District, up to 60% of the front building frontage may be set back further, but only to accommodate courtyards or sidewalk cafes.</p> <p>Side: For all areas in the Gateway District, side setbacks shall be a minimum of 3'.</p> <p>Rear: For all areas in the Gateway District, rear setbacks shall be a minimum of 10'.</p> <p>All buildings in the B-1 district shall have 0' setbacks with the exception of uses that include outdoor dining areas. Per the LDC, buildings with designated outdoor dining areas may have a setback of up to 15'.</p>	
<p>b. surface parking location</p> <p>Surface parking areas shall be located behind or to the side of the main building, and shall be set back at least 25 feet from the front lot line. For corner lots, parking shall be setback a minimum of 10' from facade on streetside.</p>	
<p>c. paving</p> <p>Decorative pavers or stamped concrete pavers shall be provided instead of asphalt or concrete for the extent of the entire parking lot, including drive aisles.</p>	

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

2 BUILDING ELEMENTS	
<p>a. height, major streets</p> <p>The minimum building height on major streets (includes: Main Street, Broadway, and Emmett) shall be 24' and the maximum building height shall be 50'.</p> <p>In the B-1 district, the building height may be increased by 50% only for buildings or portions of buildings located in excess of 140 feet from the Broadway right-of-way and having a maximum FAR (floor area ratio) of five or less. Such FAR does not apply to floor area dedicated to parking.</p>	
<p>b. building height, local streets</p> <p>The minimum building height on other local streets in the Gateway District shall be 20 feet* with a maximum of 35' or 3 stories.</p> <p>* Allowing 50% of the remaining building to be a single story in height.</p>	

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

2 BUILDING ELEMENTS (CONTINUED)

c. fenestration & entrances

Entrances

Each building in the Gateway District must have a main entrance fronting the public roadway.

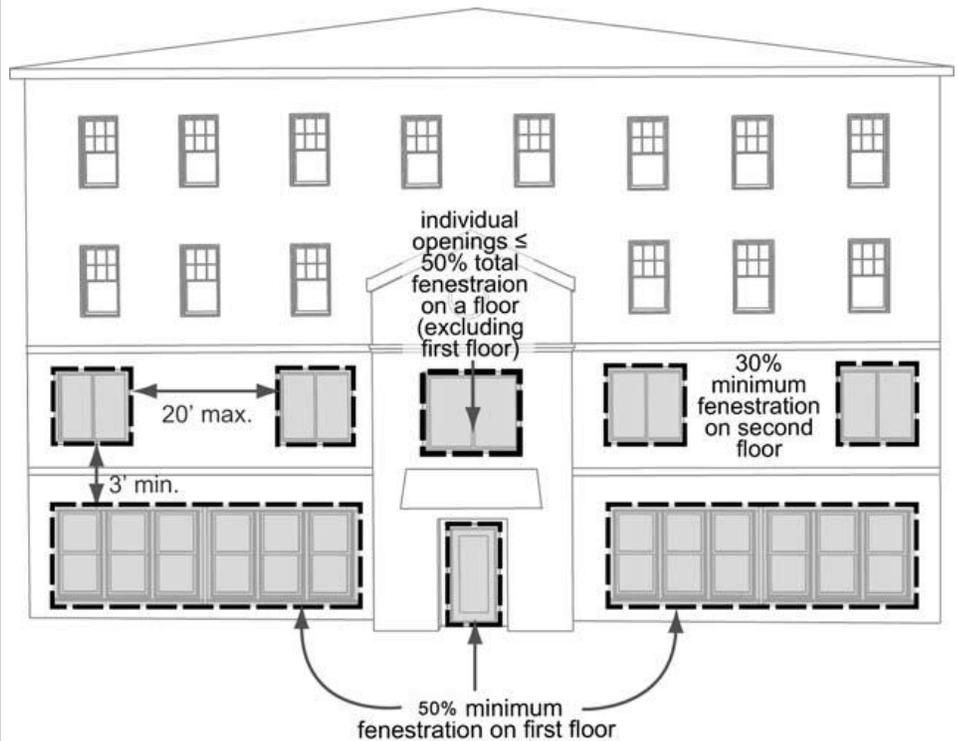
Fenestration

Fenestration, or transparent door and window openings, on the first floor of the front façade must be no less than 50% of the total area of the first floor front façade.

Fenestration on each upper floor of the front façade must be no less than 30% of the total area of the front façade of each upper floor for all building facades facing public roadways.

Blank lengths of wall without openings shall not exceed 20 linear feet.

No individual openings shall exceed 50% of the total fenestration on a floor, excluding the first floor.



II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

2 BUILDING ELEMENTS (CONTINUED)

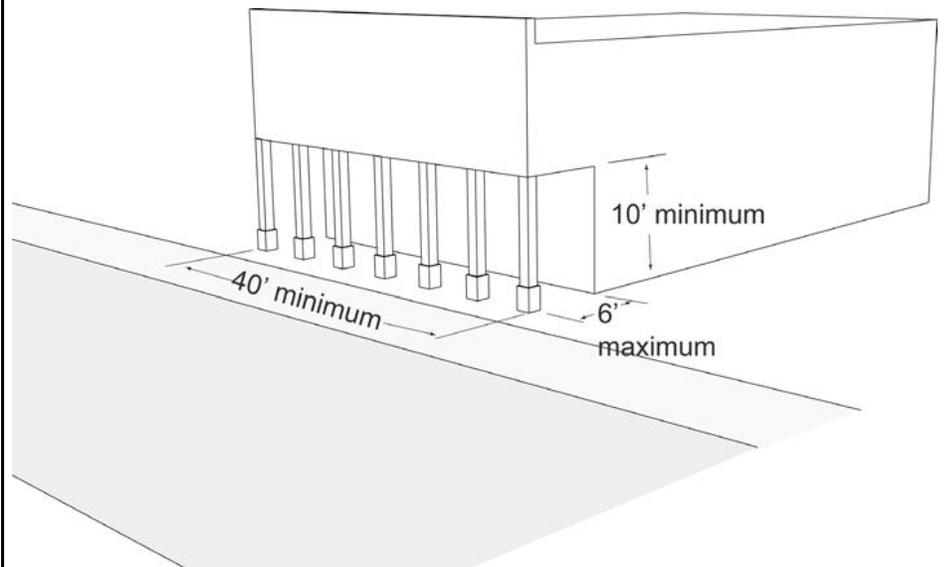
d. arcades

Arcades, or permanent roof-covered walkways, are permitted if designed and constructed in contiguous street frontages of at least 40 feet.

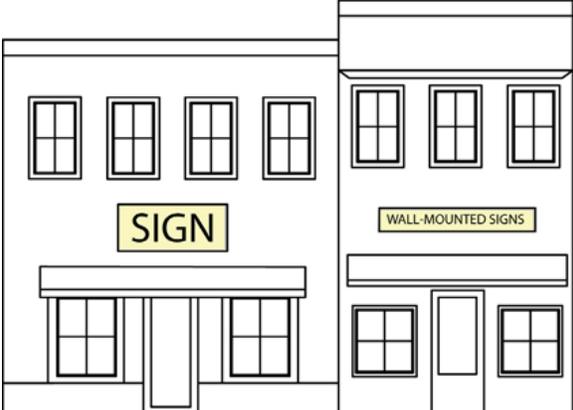
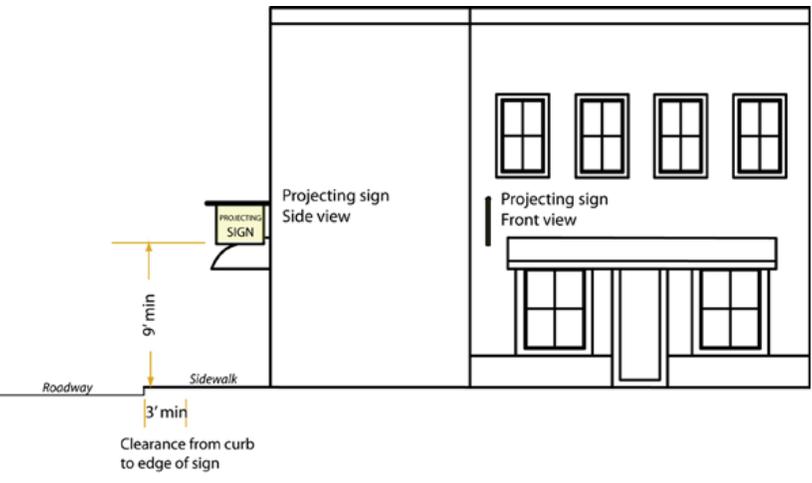
Buildings may be set back from the front setback line an additional 6' on the ground floor to create an arcade. Additional setback distances shall be subject to approval.

The second floor of a building shall not protrude over or into the right-of-way. The walkway under that arcade shall be provided in addition to the minimum sidewalk requirements. A minimum vertical clearance of 10' measured from the sidewalk surface to the arcade ceiling is required.

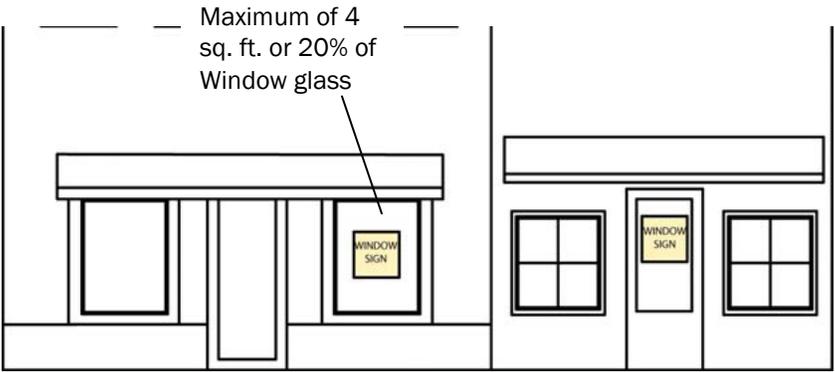
Arcades shall not be closed in or screened.



II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

3	SIGNAGE	
a. general	<p>All buildings in the Gateway District shall be allowed a combination of sign types described below including one wall, one projecting sign, one window and one awning sign per ground floor unit with an entrance fronting a public street. These signs are also permitted for any second floor units with dedicated entrances on the ground floor.</p> <p>Signs along the valance of an awning and wall signs that identify the name of a building shall be permitted in addition to the use of another sign type (see specifics in the referenced sections). For multiple businesses occupying the same building, a flat, wall mounted sign directory or a window sign may be included at the primary entrance (see specifics in multiple business signage section).</p> <p>Wall and projecting signs shall not be permitted above the first floor of a building. Building identification signs may be placed anywhere on the building facade but must not protrude outside the edges of the facade.</p>	
b. wall	<p>Wall signs must not exceed 1 square foot per 1 linear foot of building frontage.</p> <p>Wall sign must be illuminated by external means only.</p>	 <p>The diagram shows a two-story building facade. On the ground floor, there is a central entrance with a small awning. Above the entrance, a yellow rectangular sign with the word 'SIGN' is mounted on the wall. To the right of the entrance, there are three windows, and above them, a yellow rectangular sign with the text 'WALL-MOUNTED SIGNS' is mounted on the wall.</p>
c. projecting	<p>Projecting signs are permitted in the Gateway District. Projecting signs must be a maximum of 4 square feet in dimension and project a minimum distance of 1' from the wall to the outside edge of the sign. Sign area must be deducted from wall sign area allotment.</p> <p>Projecting signs must be mounted above or below an awning, providing a minimum of 8' vertical clearance measured from the sidewalk.</p> <p>Additionally, there must be a minimum of 3' horizontal clearance from the edge of the curb to the front edge of the sign.</p> <p>Projecting signs must be illuminated by external means only.</p>	 <p>The diagram illustrates a projecting sign on a building facade. It shows two views: a side view and a front view. The side view shows a sign projecting from the building facade. A vertical dimension line indicates a minimum clearance of 9' from the sidewalk to the bottom of the sign. A horizontal dimension line indicates a minimum clearance of 3' from the curb to the front edge of the sign. The front view shows the sign mounted above a ground-floor entrance with an awning.</p>

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

3 SIGNAGE (CONTINUED)	
<p>d. window</p> <p>The maximum area of a window sign must be 4 square feet must not exceed 20% of the window glass.</p> <p>Window signs must be at an average height of 5.5' measured from the sidewalk.</p> <p>External illumination is permitted.</p> <p>Internal illumination is permitted, but must not be blinking, moving, or multiple colors. Neon shall only be permitted in a self-contained sign such as "open" or beverage signs.</p>	 <p>Maximum of 4 sq. ft. or 20% of Window glass</p>
<p>e. awning</p> <p>Awning signs may be combined with projecting and wall signs. The area of the awning sign must be deducted from the maximum allowable square footage for other signs. Externally illumination only is permitted.</p> <p>Awnings must be designed compatible with main building structure and are subject to design review per Architecture guidelines in Volume III.</p> <p>Awning signs must be located on the valance, when possible. A minimum space between the edge of lettering and the top and bottom of the valance must be 1.5".</p>	<p>The sum total of sign square footage must not exceed 1 sq. ft. per linear foot of building frontage.</p> 
<p>f. building identification</p> <p>Building identification signs, or a sign that is permitted to be installed only on a building to identify the name only of that building, shall be permitted at 1 sign per street frontage. Building identification signs shall only be permitted in structures over three stories in height. They may be mounted above the ground floor, but must not protrude above the roof line or roof cornice. Additionally, building identification signs must not obscure any architectural elements of the building facade.</p> <p>Building identification signage must not exceed 1 square foot per 1 linear foot of building frontage.</p> <p>See Architectural Standards, Volume III for examples.</p>	

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

3 SIGNAGE (CONTINUED)

g. multiple business signage

When multiple businesses occupy the same building, a flat, wall mounted sign directory or a window sign may be included at the primary entrance. Primary entrances include separate doorways or lobby entrances.

A sign directory may be used in combination with other sign types (as shown in the diagram to the right).

Sign directories must not exceed 4 square feet. Text size, color and font must be standardized between different businesses listed on the same sign.



Example of multiple business window signage located on a separate doorway entrance.

h. temporary signs

Temporary signs shall be permitted under the provisions of §14-2-157 of the Land Development Code with the following exceptions:

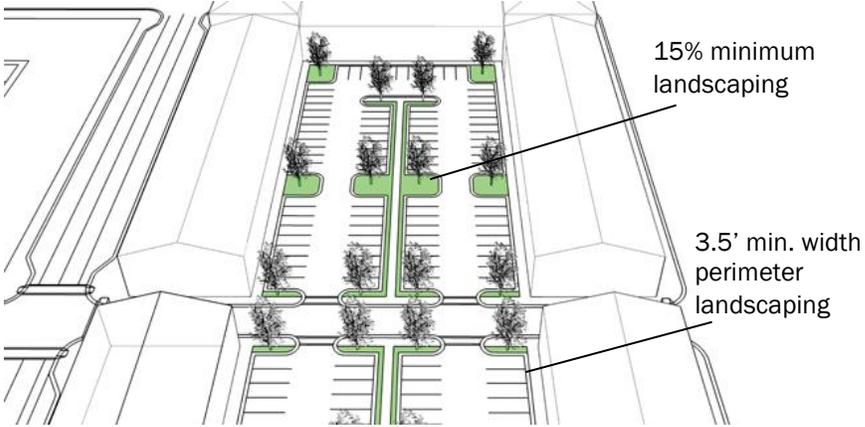
Cold air balloons shall be prohibited in the CRA with the exception of those properties with direct frontage on Vine Street or John Young Parkway.

Temporary window signs must not exceed a maximum of 25% of the transparent glass area of any window.

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

3 SIGNAGE (CONTINUED)	
h. lighting	<p>External illumination or sign backlighting are permitted in the CRA district for all sign types. Internal illumination is permitted on window signs only. Neon lights are prohibited unless in a self contained, prefabricated sign, such as an open sign or beverage sign. Blinking, moving and multiple colored lights are prohibited.</p>
i. other	<p>No new ground signage will be permitted in the Gateway District, except for existing structures that exceed the maximum building setbacks established in Section II.A.1. These signs must be either monument or post-style signs with a maximum height of 7 feet and maximum sign area of 36 square feet and must be externally illuminated only.</p> <p>No flood lighting, (with the exception of neighborhood-friendly wall packs and/or security and surveillance lights) message board displays, cabinets (signs that contain text and/or logo symbols within a single enclosed cabinet), or other incompatible signage (refer to the architectural standards, volume III) will be permitted in the CRA.</p> <p>Pin lettering (individual letters and graphics) is highly encouraged.</p> <p>Signage must not obscure any architectural elements of the building facade.</p>

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

4	LANDSCAPE	
a. parking lots	<p>A minimum of 15% of any surface parking lot shall be landscaped or planted. The type of landscaping and specifics shall be referred to in the LDC. This shall not include perimeter landscape buffer requirements.</p> <p>In the Gateway District, perimeter landscaping requirements may be reduced to a width of 3.5'.</p>	
b. other	<p>Landscaping requirements in the CRA District should support the overall design intent. As such, when minimal building setbacks are used (less than 5') creative urban landscaping approaches should be used. Hedges, hardscaping, urban tree specimens, etc. should all be pursued. In instances where canopy tree landscaping requirements within front or side yards (adjacent to public right of way) are not feasible, applicant shall pursue a Developer's Agreement to site trees within the public right of way.</p>	
5	LIGHTING	
parking lots and pedestrian areas	<p>The maximum height of any parking lot lighting shall be 15'. Light fixture cutoffs shall block no less than 85% of light projecting upward.</p> <p>Light fixtures shall match the streetscape types, or be dark colored and acorn style with metal halide lighting.</p> <p>Pedestrian areas outside of parking areas shall have low scale neighborhood-friendly lighting and fixtures compatible with the rest of the site.</p>	
b. other	<p>Decorative lighting of architecture, walkways, and landscaping is permitted in the CRA, but shall not include floodlighting, with the exception of neighborhood-friendly wall packs, and security/surveillance lights.</p>	

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

6	SITE ACCESS AND DRAINAGE
a. access point separation from other access points	<p>The minimum separation between two two-way access points located on the same side of a street specified in § 14-2-81(B) of the Land Development Code may be reduced to 30 feet if the access points are located in an RB-2, RPB, or other residential district. This does not apply to an access point on a street classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
b. access point separation from intersections	<p>The minimum separation between the edge of driveway pavement and an arterial or collector street intersection right-of-way line specified in § 14-2-81(C) of the Land Development Code may be reduced to 25 feet. This does not apply to an access point on a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
c. access point separation from property line	<p>The minimum separation between an access drive and adjacent lot at the right-of-way line specified in § 14-2-81(E) of the Land Development Code may be reduced to five feet where there is no joint access drive. Such a reduction shall not be allowed along a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>

II-A. PRIVATE DEVELOPMENT STANDARDS - GATEWAY DISTRICT

6	SITE ACCESS AND DRAINAGE
d. Fire lane access and driveway widths	<p>The minimum width of a fire lane and a fire access drive specified in § 14-2-82(B)(3) of the Land Development Code may be reduced to a minimum of 10' with Fire Department approval. Two-way driveway widths and backing for perpendicular parking must be a minimum of 20' and maximum of 24'. Access point widths shall be consistent with driveway widths.</p>
e. parking lot stacking distance	<p>The minimum distance along an entranceway between the street right-of-way line and the first parking space or intersecting driveway specified in § 14-2-80(E) of the Land Development Code may be reduced to five feet for entranceways serving one or more buildings with a total of less than 3,000 square feet of gross floor area which are located in a RB-2 or RPB District. This shall not apply to sites with medical offices or medical clinics.</p>
f. drainage and retention areas	<p>Any required retention in between the building and the public right of way for existing structures cannot be any deeper than one foot and must have a subtle transitional bank to the bottom; pond shall not have any control structures (or similar devices) and a buffer of landscaping or other aesthetic treatments shall be included to soften the vertical transition from yard to pond. In addition, rain gardens that meet all retention requirements may be used in lieu of retention ponds. For new construction, retention must be placed in the rear or side yard, not facing the public right of way, and can be at any depth.</p> <p>Vehicular use areas which have less than 2,000 square feet of area with a durable all-weather surface as described in § 14-2-80(G) may be relieved of the city requirements for providing stormwater detention/retention, but shall still be required to meet SFWMD water quality standards.</p>
g. parking space size	<p>Parking spaces shall be a minimum of 9 feet wide and 18 feet long (can be reduced to 16' if 2' vehicular overhang is provided outside of the required sidewalk or buffer widths).</p>



B. MIXED EMPLOYMENT
DISTRICT



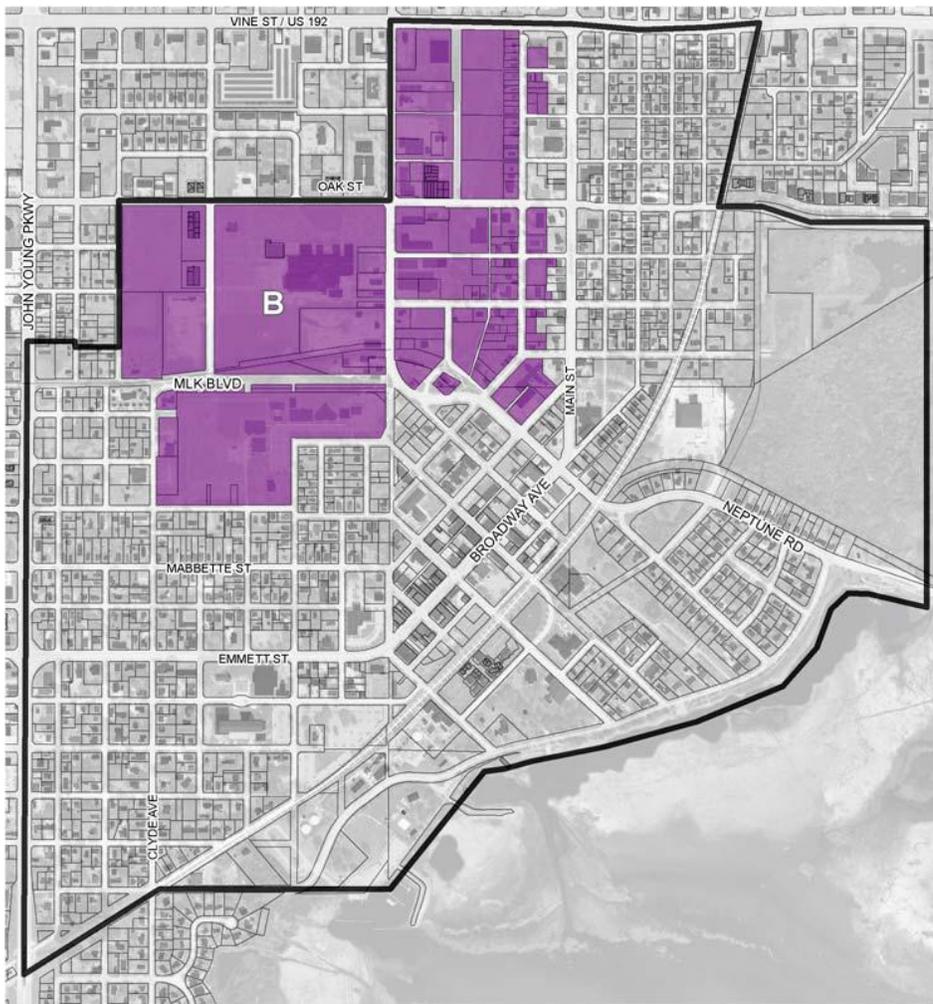
II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT



Introduction to the Mixed Employment District

The Mixed Employment District includes institutional, and historic uses surrounding the hospital area in the north of the CRA. In addition to the hospital, a variety of historically designated structures make up the mixture of uses in this district.

Photo of Osceola Regional Hospital



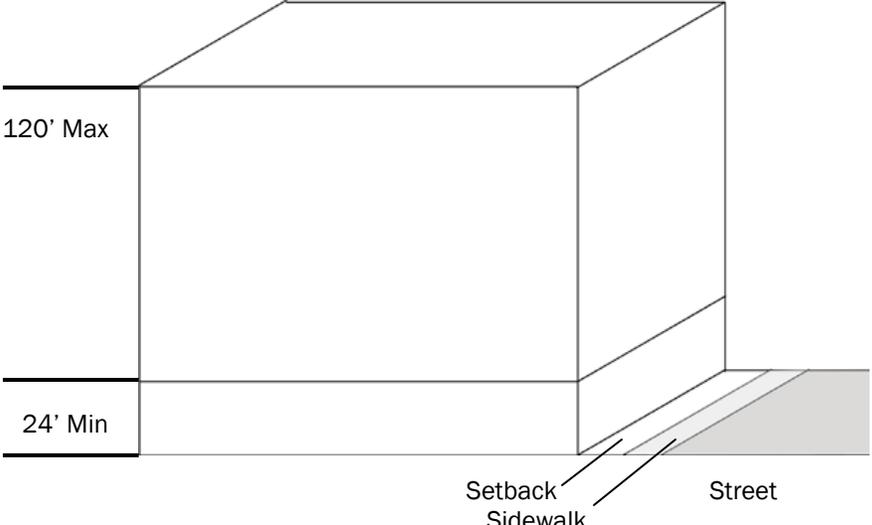
The mixed character of this district is reflective of the diversity of uses and land patterns, which should be preserved with new development. The vision, however, is to improve this district by adding additional roadway connections and strategically placing buildings and parking to accommodate bicycle and pedestrian activity. Additionally, new buildings with institutional or civic uses will be encouraged to incorporate a mixture of uses such as retail, residential (above the first floor), or small offices on the ground floor to further activate the streetscape and establish a renewed sense of identity.

Mixed Employment District Key Map

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

1	SITE DESIGN	
a. building setbacks	<p>Front facade:</p> <p>Street-front setbacks (front or side) for all areas shall be a minimum of 5' to a maximum of 15'. The same standards apply to corner lots.</p> <p>For all areas in the ME District, up to 60% of the front building frontage may be set back further, but only to accommodate courtyards or sidewalk cafes.</p> <p>Side:</p> <p>For all areas in the ME District, side setbacks shall be a minimum of 3'.</p> <p>Rear:</p> <p>For all areas in the ME District, rear setbacks shall be a minimum of 10'.</p>	
b. surface parking location	<p>Surface parking areas shall be located behind or to the side of the main building, and shall be set back at least 25 feet from the front lot line. For corner lots, parking shall be setback a minimum of 10' from facade on streetside.</p>	
c. paving	<p>Decorative pavers or stamped concrete shall be provided instead of asphalt or concrete for the extent of the entire parking lot, including drive aisles.</p>	

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

2 BUILDING ELEMENTS	
a. building height	<p>The minimum building height for the Mixed Employment District shall be 24' and the maximum building height shall be 120'.</p>  <p>The diagram illustrates a 3D perspective of a rectangular building. To the left of the building, two horizontal lines indicate height limits: the top line is labeled '120' Max' and the bottom line is labeled '24' Min'. To the right of the building, a shaded area represents the 'Street', and a narrow strip between the building and the street is labeled 'Setback Sidewalk' with two arrows pointing to it.</p>

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

2 BUILDING ELEMENTS (CONTINUED)

b. fenestration & entrances

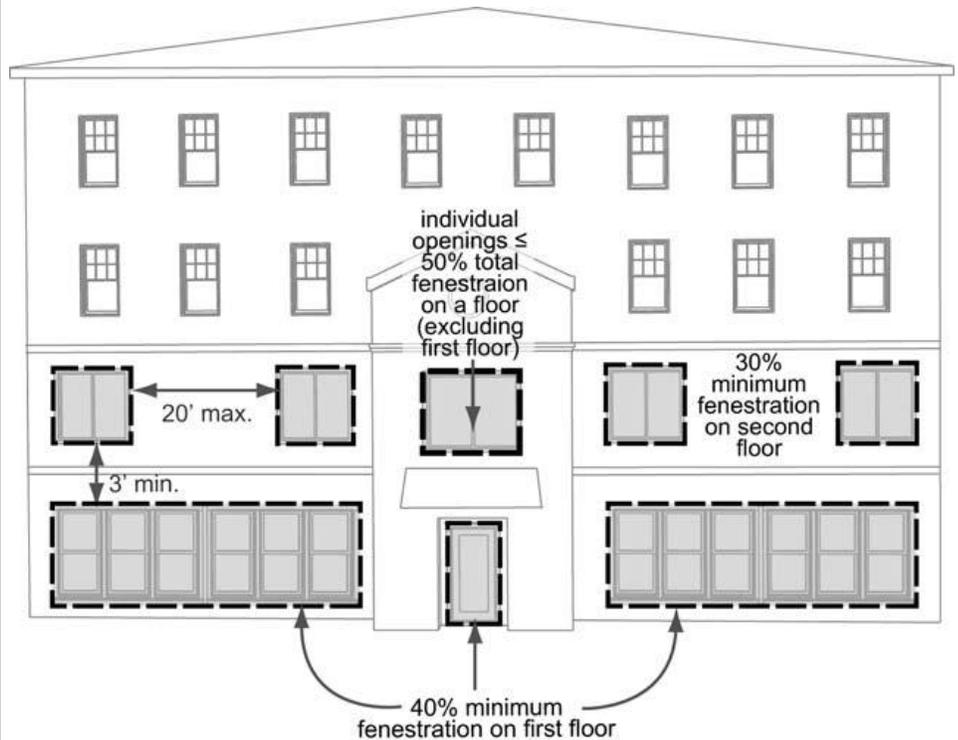
All buildings in the Mixed Employment District shall have a main entrance fronting the public street.

For corner lots, entryways shall be included on both front and side streets located on public roadway.

For uses on the ground floor, fenestration, or transparent door and window openings shall be a minimum of 40% of the total area of the first floor front facade. Fenestration on each upper floor of the front facade shall be no less than 30% of the total area of the front facade of each upper floor for all building facades facing a public street.

Blank lengths of wall without openings shall not exceed 20 linear feet.

No individual openings shall exceed 50% of the total fenestration on a floor, excluding the first floor.



II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

2 BUILDING ELEMENTS (CONTINUED)

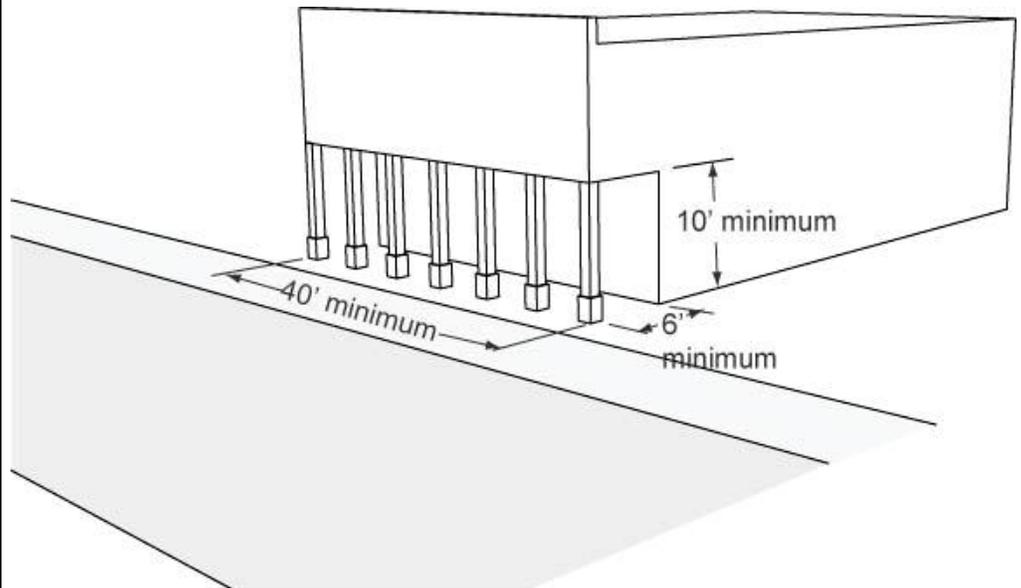
c. arcades

Arcades, or permanent roof-covered walkways, are permitted if designed and constructed in contiguous street frontages of at least 40'.

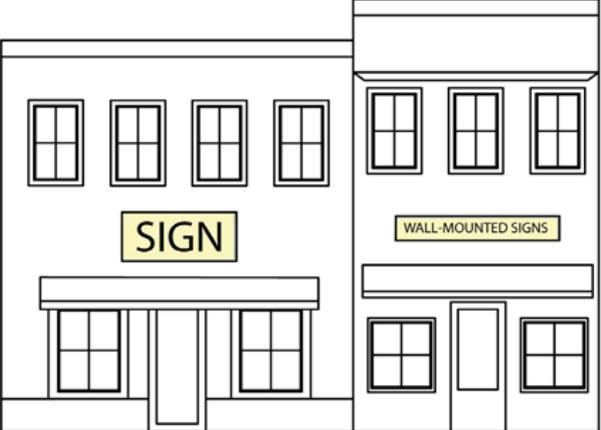
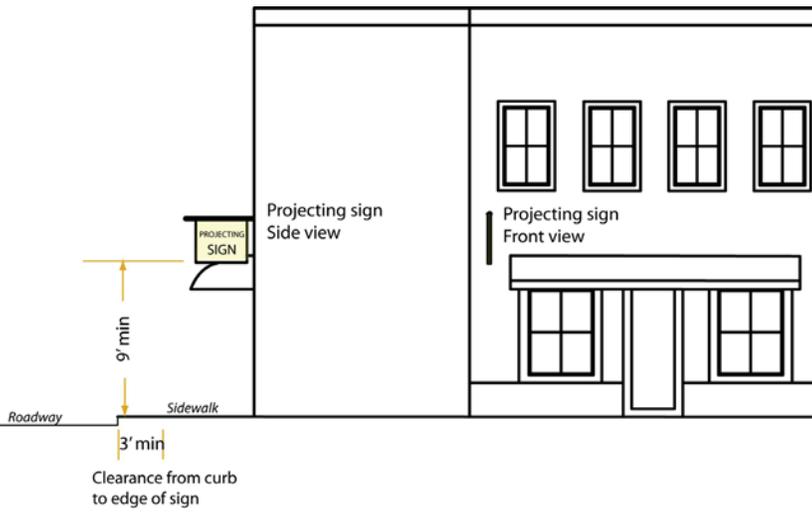
Buildings may be set back from the required building line a distance of 6' on the ground floor to create an arcade. Additional setback distances shall be subject to approval.

The second floor shall not protrude over or into the right-of-way. The walkway under that arcade shall be provided in addition to the minimum sidewalk requirements. A minimum vertical clearance of 10' measured from the sidewalk surface to the arcade ceiling is required.

Arcades shall not be closed in or screened.



II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

3	SIGNAGE	
a. general	<p>All buildings in the Mixed Employment District shall be allowed a combination of sign types described below including one wall, one projecting sign, one window and one awning sign per ground floor unit with an entrance fronting a public street. These signs are also permitted for any second floor units with dedicated entrances on the ground floor. In addition, one single free-standing/monument sign may also be allowed per building.</p> <p>Signs along the valance of an awning and wall signs that identify the name of a building shall be permitted in addition to the use of another sign type (see specifics in the referenced sections). For multiple businesses occupying the same building, a flat, wall mounted sign directory or a window sign may be included at the primary entrance (see specifics in multiple business signage section).</p> <p>Wall and projecting signs shall not be permitted above the first floor of a building. Building identification signs may be placed anywhere on the building facade but must not protrude outside the edges of the facade.</p>	
b. wall	<p>Wall signs must not exceed 1 square foot per 1 linear foot of building frontage.</p> <p>Wall sign must be illuminated by external means only.</p>	
c. projecting	<p>Projecting signs must be a maximum of 4 square feet in dimension and project a minimum distance of 1' from the wall to the outside edge of the sign. Sign area must be deducted from wall sign area allotment.</p> <p>Projecting signs must be mounted above or below an awning, providing a minimum of 8' vertical clearance measured from the sidewalk.</p> <p>Additionally, there must be a minimum of 3' horizontal clearance from the edge of the curb to the front edge of the sign.</p> <p>Projecting signs must be illuminated by external means only.</p>	

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

3 SIGNAGE (CONTINUED)

d. free-standing/monument

Monument or post-style signs are permitted in the Mixed Employment District.

Free-standing signs must not exceed 7' in height and must be a maximum of 36 square feet.

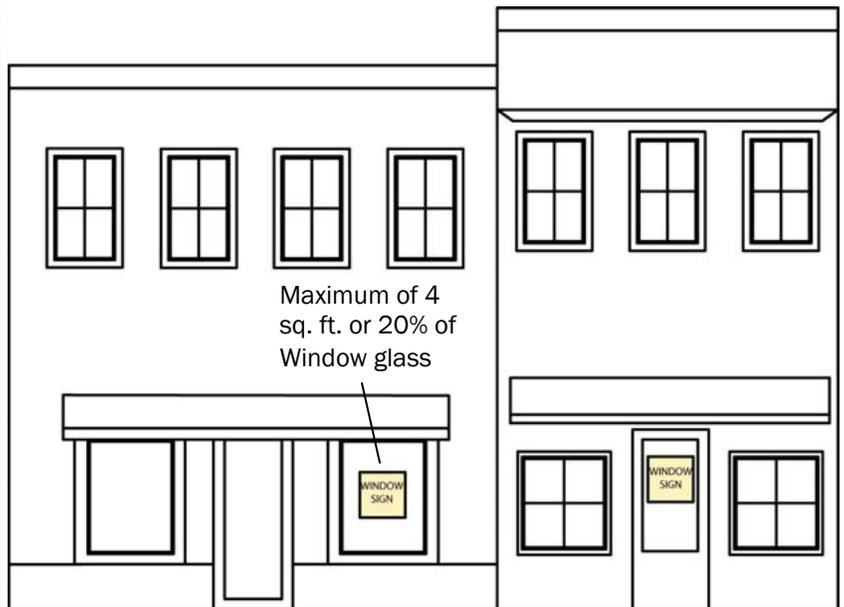
e. window

The maximum area of a window sign must be 4 square feet and must not exceed 20% of the window glass.

Window signs must be at an average height of 5.5' measured from the sidewalk.

External illumination is permitted.

Internal illumination is permitted, but must not be blinking, moving, or multiple colors. Neon shall only be permitted in a self-contained sign such as "open" or beverage signs.



II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

3	SIGNAGE (CONTINUED)	
f. awning	<p>Awning signs may be combined with window, projecting, and wall signs. The area of the awning sign must be deducted from the maximum allowable square footage for other signs. Externally illumination only is permitted.</p> <p>Awnings must be designed compatible with main building structure and are subject to design review per Architecture guidelines in Volume III.</p> <p>Awning signs must be located on the valance, when possible. A minimum space between the edge of lettering and the top and bottom of the valance shall be 1.5".</p>	<p>The sum total of sign square footage shall not exceed 1 sq. ft. per linear foot of building frontage.</p> 
g. building identification	<p>Building identification signs, or a sign that is permitted to be installed only on a building to identify the name only of that building, shall be permitted at 1 sign per street frontage. Building identification signs shall only be permitted in structures over three stories in height. They may be mounted above the ground floor, but must not protrude above the roof line or roof cornice. Additionally, building identification signs must not obscure any architectural elements of the building facade.</p> <p>Building identification signage must not exceed 1 square foot per 1 linear foot of building frontage.</p> <p>See Architectural Standards, Volume III for examples.</p>	

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

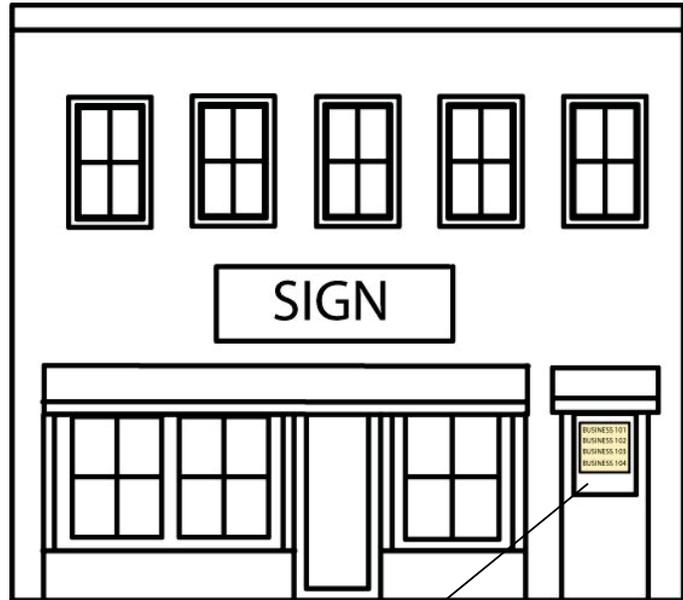
3 SIGNAGE (CONTINUED)

h. multiple business signage

When multiple businesses occupy the same building on different floors, a flat, wall mounted sign directory or a window sign may be included at the primary entrance. Primary entrances include separate doorways or lobby entrances.

A sign directory may be used in combination with other sign types (as shown in the diagram to the right).

Sign directories must not exceed 4 square feet. Text size, color and font must be standardized between different businesses listed on the same sign.



Example of multiple business window signage located on a separate doorway entrance.

h. temporary signs

Temporary signs shall be permitted under the provisions of §14-2-157 of the Land Development Code with the following exceptions:

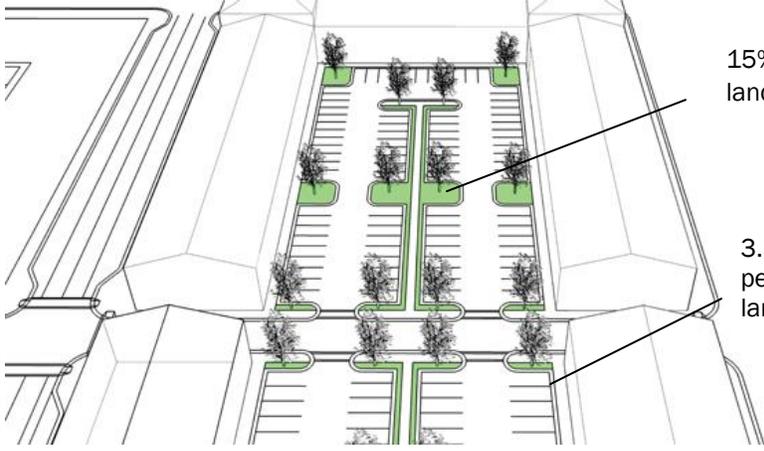
Cold air balloons shall be prohibited in the CRA with the exception of those properties with direct frontage on Vine Street or John Young Parkway.

Temporary window signs must not exceed a maximum of 25% of the transparent glass area of any window.

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

3	SIGNAGE (CONTINUED)
i. lighting	<p>External illumination or sign backlighting are permitted in the CRA District for all sign types. Internal illumination is permitted on window signs only. Neon lights are prohibited unless in a self contained, prefabricated sign, such as an open sign or beverage sign. Blinking, moving and multiple colored lights are prohibited.</p>
j. other	<p>No flood lighting, (with the exception of neighborhood-friendly wall packs and/or security and surveillance lights) message board displays, cabinets (signs that contain text and/or logo symbols within a single enclosed cabinet), or other incompatible signage (refer to the architectural standards, volume III) will be permitted in the CRA.</p> <p>Pin lettering (individual letters and graphics) is highly encouraged.</p> <p>Signage must not obscure any architectural elements of the building facade.</p>

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

4	LANDSCAPE	
a. parking lots	<p>A minimum of 15% of any surface parking lot shall be landscaped or planted. This shall not include perimeter landscape buffer requirements.</p> <p>In this district, perimeter landscaping requirements may be reduced to a width of 3.5'.</p> <p>The type of landscaping and specifications shall be referred to the LDC.</p>	 <p>15% minimum landscaping</p> <p>3.5' min. width perimeter landscaping</p>
b. other	<p>Landscaping requirements in the CRA District should support the overall design intent. As such, when minimal building setbacks are used (less than 5') creative urban landscaping approaches should be used. Hedges, hardscaping, urban tree specimens, etc. should all be pursued. In instances where canopy tree landscaping requirements within front or side yards (adjacent to public right of way) are not feasible, applicant shall pursue a Developer's Agreement to site trees within the public right of way.</p>	
5	LIGHTING	
a. parking lots and pedestrian areas	<p>The maximum height of any parking lot lighting shall be 15'. Light fixture cutoffs shall block no less than 85% of light projecting upward.</p> <p>Light fixtures shall match the streetscape types, or be dark colored and acorn style with metal halide lighting.</p> <p>Pedestrian areas outside of parking areas shall have low scale lighting and fixtures compatible with the rest of the site.</p>	
b. service yards	<p>The maximum height of any service yard lighting shall be 30', but shall have cut-offs so that a minimum of 85% of the light is directed downward.</p>	
c. other	<p>Decorative lighting of architecture, walkways, and landscaping is permitted in the CRA, but shall not include flood lighting, with the exception of neighborhood-friendly wall packs, and security/surveillance lights.</p>	

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

6	SITE ACCESS AND DRAINAGE	
a. access point separation from other access points		<p>The minimum separation between two two-way access points located on the same side of a street specified in § 14-2-81(B) of the Land Development Code may be reduced to 30 feet. This does not apply to an access point on a street classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
b. access point separation from intersections		<p>The minimum separation between the edge of driveway pavement and an arterial or collector street intersection right-of-way line specified in § 14-2-81(C) of the Land Development Code may be reduced to 25 feet. This does not apply to an access point on a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
c. access point separation from property line		<p>The minimum separation between an access drive and adjacent lot at the right-of-way line specified in § 14-2-81(E) of the Land Development Code may be reduced to five feet where there is no joint access drive. Such a reduction shall not be allowed along a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>

II-B. PRIVATE DEVELOPMENT STANDARDS - MIXED EMPLOYMENT DISTRICT

6	Site Access and Drainage
d. Fire lane access and driveway widths'	<p>The minimum width of a fire lane and a fire access drive specified in § 14-2-82(B)(3) of the Land Development Code may be reduced to a minimum of 10' with Fire Department approval. Two-way driveway widths and backing for perpendicular parking must be a minimum of 20' and maximum of 24'. Access point widths shall be consistent with driveway widths.</p>
e. parking lot stacking distance	<p>The minimum distance along an entranceway between the street right-of-way line and the first parking space or intersecting driveway specified in § 14-2-80(E) of the Land Development Code may be reduced to five feet for entranceways serving one or more buildings with a total of less than 3,000 square feet of gross floor area and access points on a street classified by the comprehensive plan as a principal arterial, minor arterial or major collector. This shall not apply to sites with medical offices or medical clinics.</p>
f. drainage and retention areas	<p>Any required retention cannot be any deeper than one foot and must have a subtle transitional bank to the bottom; pond shall not have any control structures (or similar devices) and a buffer of landscaping or other aesthetic treatments shall be included to soften the vertical transition from yard to pond for all retention areas located adjacent to right-of-way and adjacent property line. In addition, rain gardens that meet all retention requirements may be used in lieu of retention ponds.</p> <p>Vehicular use areas which have less than 2,000 square feet of area with a durable all-weather surface as described in § 14-2-80(G) may be relieved of the city requirements for providing stormwater detention/ retention, but shall still be required to meet SFWMD water quality standards.</p>
g. parking space size	<p>Parking spaces shall be a minimum of 9 feet wide and 18 feet long (can be reduced to 16' if 2' vehicular overhang is provided outside of the required sidewalk or buffer widths).</p>



C. COURTHOUSE DISTRICT



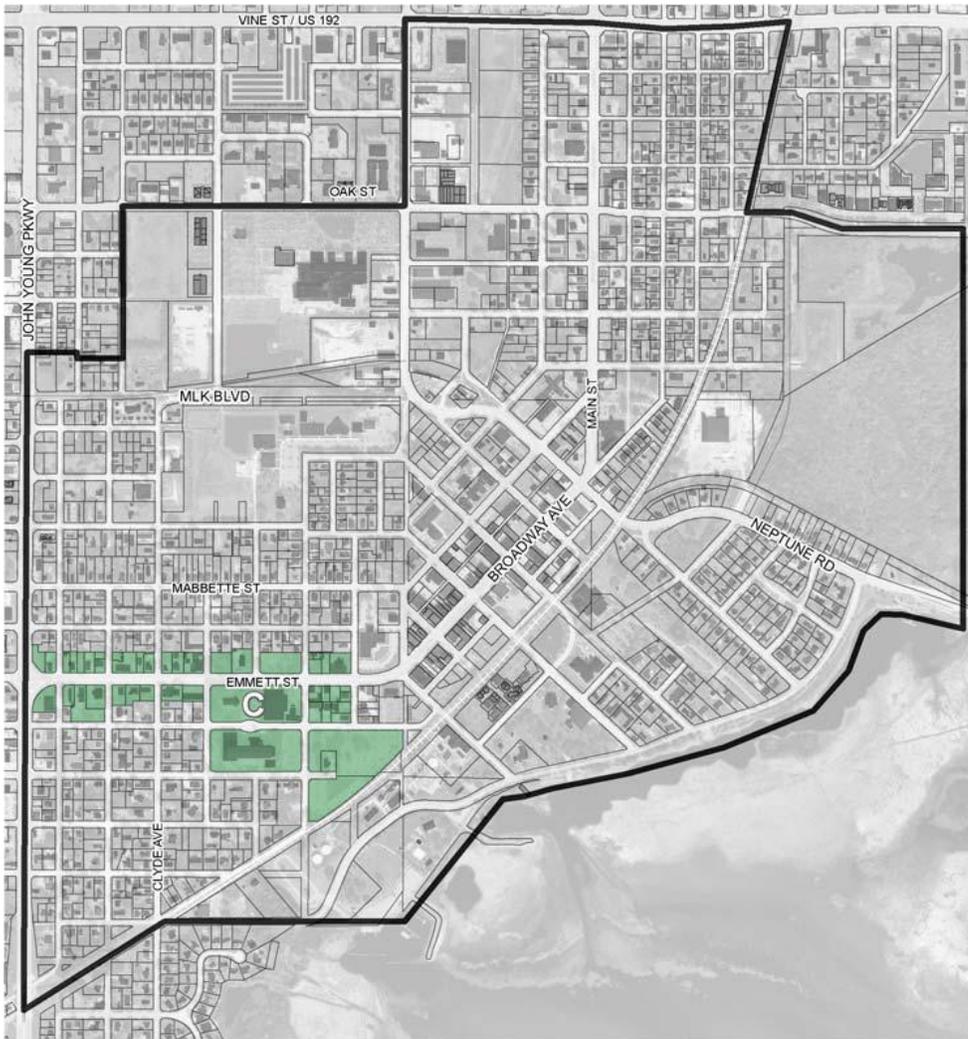
II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT



Introduction to the Courthouse District

The Courthouse District includes the civic and transitional uses at the edge of the Gateway District and along Emmett Street.

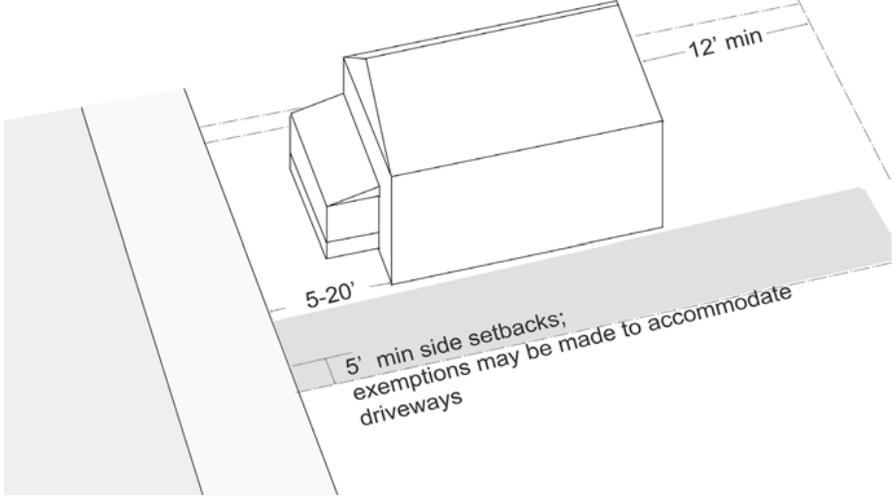
Photo of Osceola County Courthouse



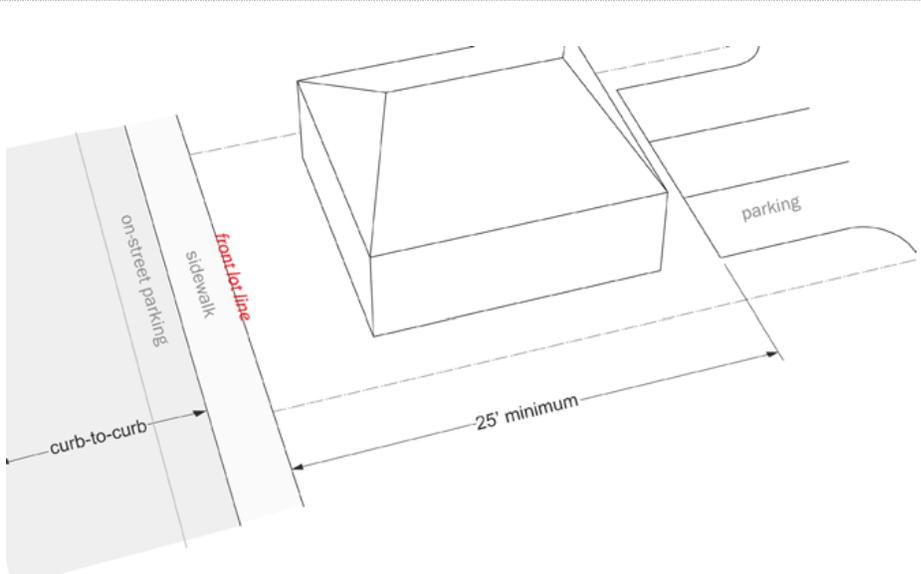
The civic and transitional character of this District gives it distinction among the other areas in the CRA. Careful attention should be paid to preserving the character of public areas including and surrounding the courthouse, residential conversions and historic buildings along Emmett Street, and providing good pedestrian access to its services. Parks, open space, and landscaping should celebrate the unique character of the district and signify its distinction in the CRA.

Courthouse District Key Map

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

1 SITE DESIGN	
<p>a. building setbacks</p> <p><u>Front facade:</u> The street facade (front or side) shall have a minimum front setback of 5 feet and a maximum front setback of 20 feet.</p> <p><u>Side:</u> Side setbacks shall be a minimum of 5 feet.</p> <p><u>Rear:</u> Where there is no alleyway, a minimum of 12' setback is required from the rear lot line. For lots with alleyways, the minimum rear setback shall be 5'.</p>	
<p>b. building frontage</p> <p>A minimum of 30% of the building facade shall be built along the front setback line. However, jogs in the facade wall up to a maximum of 18" are permitted.</p> <p>Porches, stoops, or balconies may project into the required setback area, so long as they do not project into the minimum 5' setback area.</p>	
<p>c. paving</p> <p>Decorative pavers shall be provided instead of asphalt or concrete for the extent of the entire parking lot, including drive aisles.</p>	

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

1 SITE DESIGN	
d. lot size	<p>The minimum lot size for non-residential uses shall be 7,500 square feet and 60 ft. wide.</p>
e. surface parking location	<p>Surface parking areas shall be located behind or to the side of the main building, and shall be set back at least 25 feet from the front lot line. For corner lots, parking shall be setback a minimum of 10' from facade on streetside.</p> 

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

1

SITE DESIGN

f. parking, residential conversions

For residential conversions in the Courthouse District, parking shall be accommodated to the rear of the lot and set back a minimum of 25' from the front lot line. Parking lots shall not exceed 30% (not inclusive of the driveways) of the total lot area. However, where two non-residential use buildings share adjacent lot lines, there may be a common parking lot not to exceed 35% (not inclusive of the driveways) of the combined lot areas. Combine access driveways wherever possible to limit the number of curb cuts. When an entire block is converted into non-residential uses, an alleyway with common parking lots is advised.

All parking areas shall be landscaped or screened from view from the street and adjacent residences.

The type of landscaping and specifications shall be referred to the LDC.

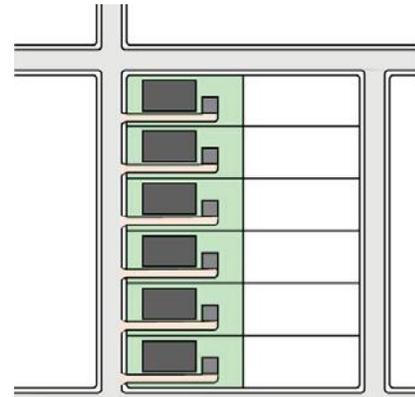


Diagram of Typical Residential Block

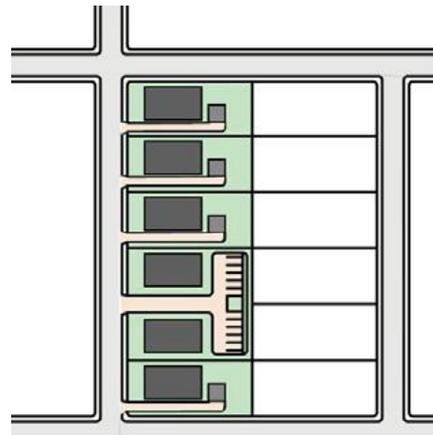


Diagram of Typical Residential Block with residential conversion parking lots accessed from a shared driveway

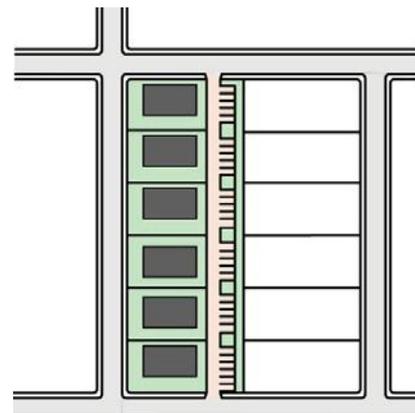
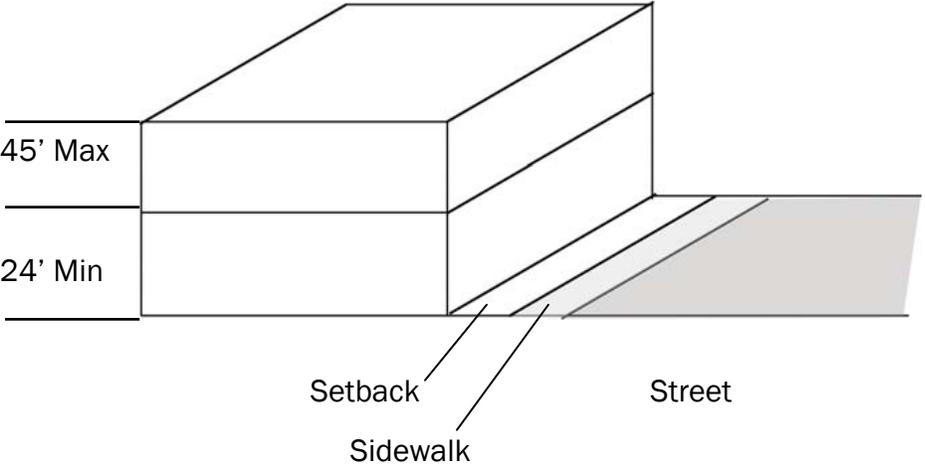
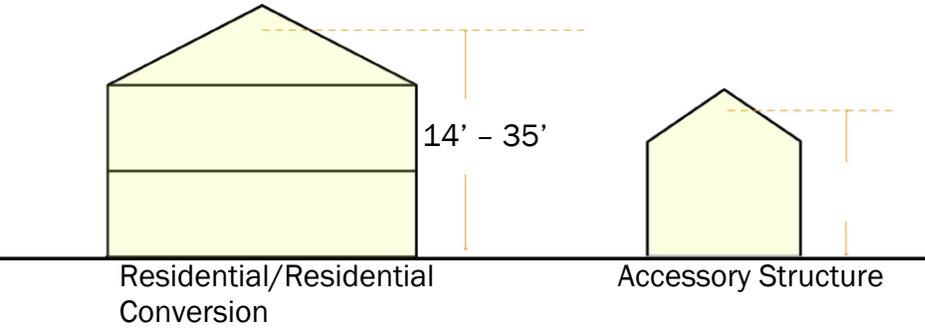


Diagram of residential conversions integrated into a typical residential block with side-road/alley access to parking

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

2	BUILDING ELEMENTS	
a. building height, courthouse	<p>The minimum building height for civic or civic mixed use buildings on Emmett Street (for the Courthouse District only) and Bryan Street shall be 24' and the maximum building height shall be 45'.</p>	
b. building height, residential and residential conversions	<p>The minimum building height for all other buildings in the Courthouse District shall be single story at 14' in height measured from the ground floor elevation to the median roof height, and the maximum building height shall be 3 stories with a maximum height of 35'.</p> <p>Accessory structures including garages shall be subordinate in size to main building structure and not exceed two stories in height.</p>	

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

2 BUILDING ELEMENTS (CONTINUED)

c. fenestration & entrances, commercial and civic buildings

Entrances

Each building in the Courthouse District must have a main entrance fronting the public roadway.

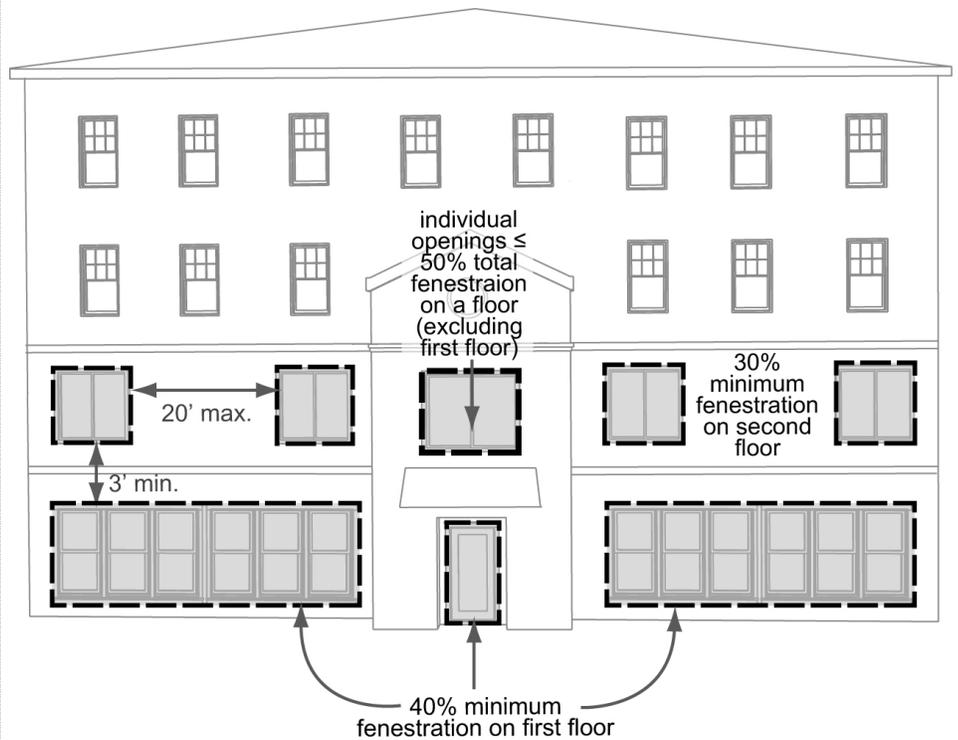
Fenestration

Fenestration, or transparent door and window openings, on the first floor of the front façade must be no less than 40% of the total area of the first floor front façade.

Fenestration on each upper floor of the front façade must be no less than 30% of the total area of the front façade of each upper floor for all building facades facing public roadways.

Blank lengths of wall without openings shall not exceed 20 linear feet.

No individual openings shall exceed 50% of the total fenestration on a floor, excluding the first floor.



II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

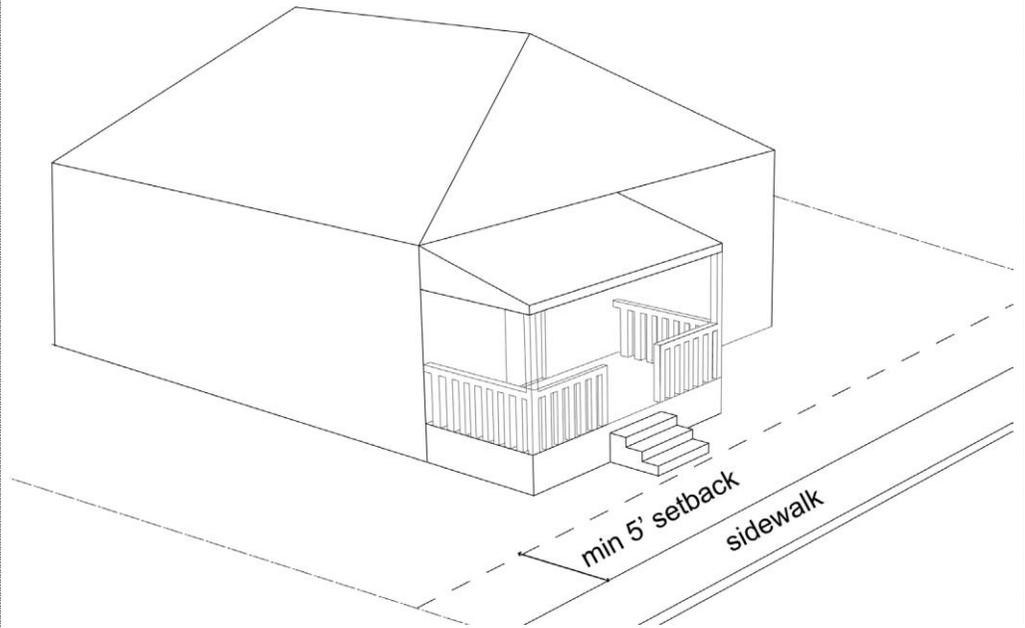
2 BUILDING ELEMENTS (CONTINUED)

d. porches

Porches are encouraged in the Courthouse District. The depth and width shall be compatible in size and scale to main building structure, and with the architecture and materials of the primary building (See Volume III: Architectural Standards).

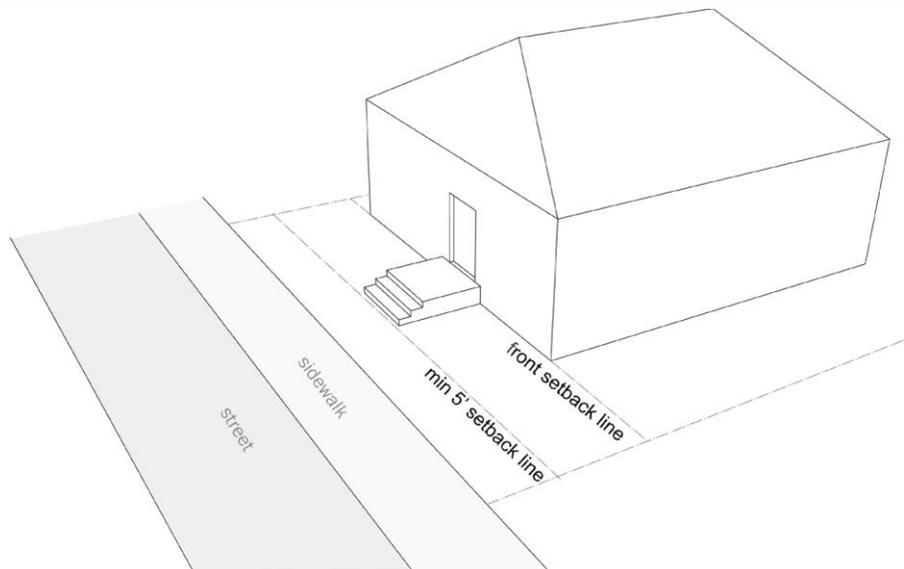
Porches are distinct from front stoops and separate standards apply.

Porches and stoops may extend beyond the front setback line towards the sidewalk so long as they do not encroach into the minimum 5' setback area.

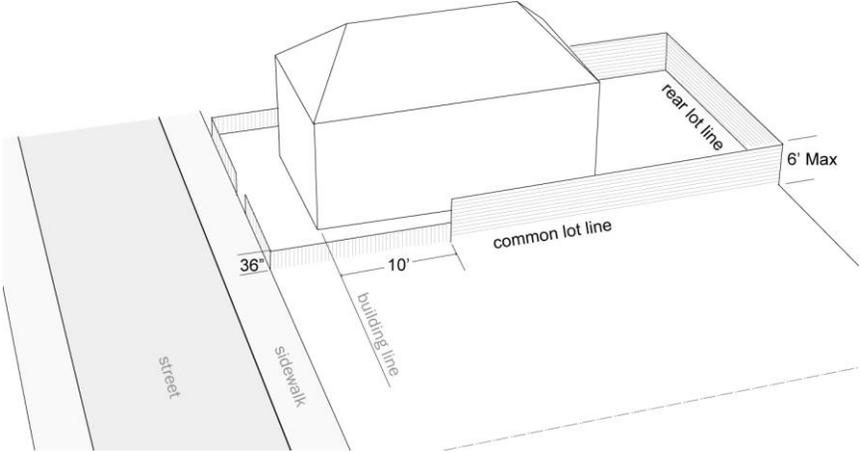
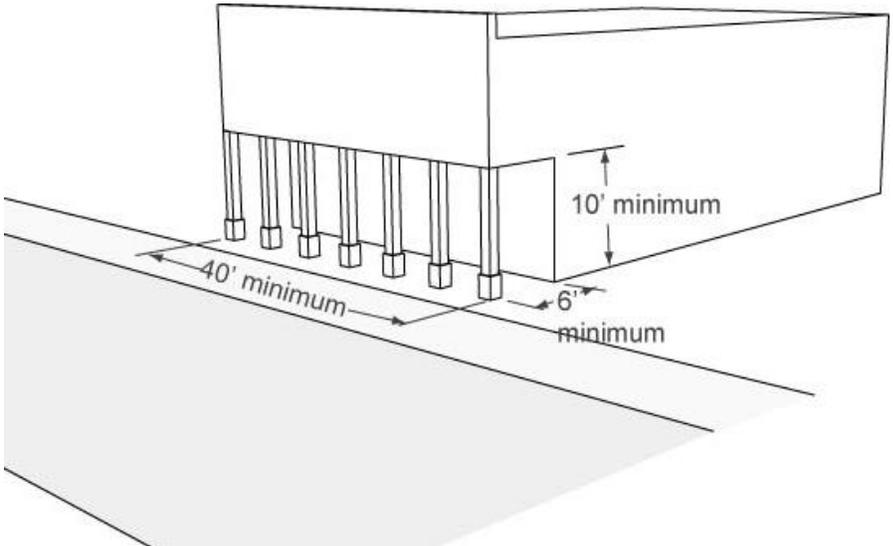


e. stoops

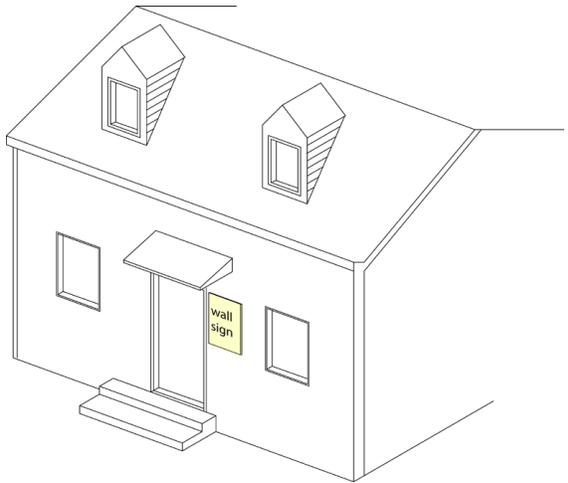
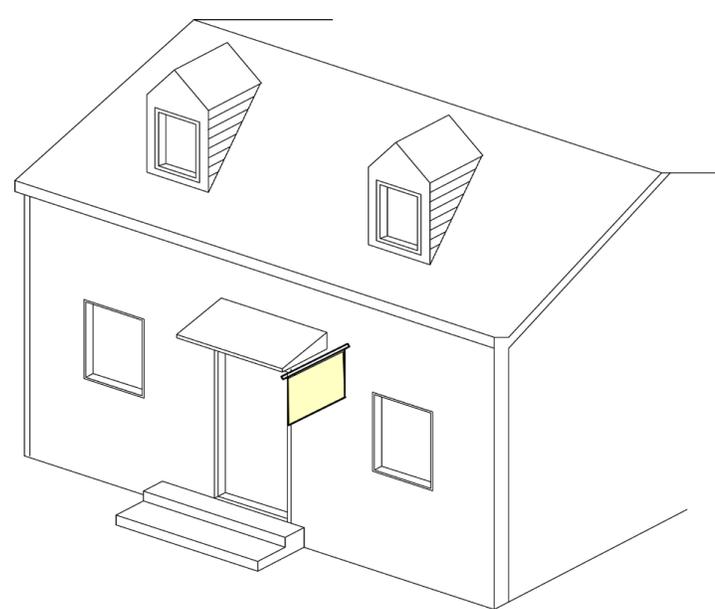
Stoops and entryways shall be oriented toward the sidewalk. Stoop width and length shall be proportionate to entry way widths. Stoops may extend beyond the front setback line towards the sidewalk so long as they do not encroach into the minimum 5' setback area.



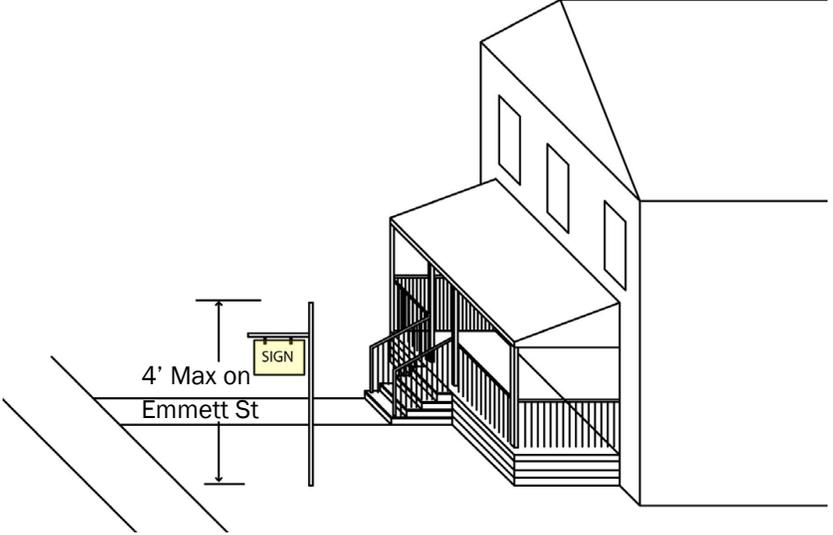
II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

2	BUILDING ELEMENTS (CONTINUED)	
f. balconies	Balconies are permitted in the Courthouse District and shall be built in proportion to building facade per Architectural Guidelines in Volume III.	
g. fences and walls	<p>Ornamental fences or low stone walls are permitted at a maximum height of 36" along the edges of a property (see Architectural Standards on acceptable fencing and wall materials.) At 10' or more behind the front building line, a privacy fence is permitted up to a maximum height of 6'.</p>	
h. arcades	<p>Arcades, or permanent roof-covered walkways, are permitted if designed and constructed in contiguous street frontages of at least 40 feet.</p> <p>Buildings may be set back from the front setback line an additional 6' on the ground floor to create an arcade. Additional setback distances shall be subject to approval.</p> <p>The second floor of a building shall not protrude over or into the right-of-way. The walkway under that arcade shall be provided in addition to the minimum sidewalk requirements. A minimum vertical clearance of 10' measured from the sidewalk surface to the arcade ceiling is required.</p> <p>Arcades shall not be closed in or screened.</p>	

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

3	SIGNAGE	
a. general	<p>All buildings other than residential buildings in the Courthouse District shall be permitted one wall or one projecting, and one monument/post sign per each ground floor unit with an entrance fronting a public street.</p> <p>When residences are converted into businesses, signage shall be allowed in the Courthouse District. The following section shall be used to select appropriate and context-sensitive signs. In all cases, only one sign per establishment shall be permitted. If multiple businesses occupy the same building, see the section on multiple business signage. Additionally, building identification signage is permitted in combination with wall, projecting or window signage. (see the section on building identification signage.)</p>	
b. wall	<p>Wall signs shall be permitted at 1 sign per ground floor unit with an entrance fronting a public street.</p> <p>Wall signs for businesses fronting Emmett Street must not exceed 1 square foot per 1 linear foot of building frontage. For all other businesses, wall signs must not exceed 4 square feet and must attach to the wall on the first floor.</p> <p>Wall sign must be illuminated by external means only.</p> <p>Placard signs are encouraged.</p>	 <p>The diagram shows a three-dimensional perspective of a building facade. It features a central entrance with a small awning and steps. A yellow rectangular sign is mounted on the wall to the right of the entrance, labeled 'Wall sign'. There are two windows on either side of the entrance and two dormer windows on the roof.</p>
c. projecting	<p>Projecting signs shall be permitted at 1 sign per ground floor unit fronting a public street. Projecting signs shall only be allowed for sites fronting Emmett Street.</p> <p>Projecting signs must be a maximum of 4 square feet in dimension and project a maximum distance of 3.5' from the wall to the outside edge of the sign.</p> <p>Projecting signs must be mounted above or below an awning. If a projecting sign is in the path of pedestrian access, provide a minimum of 8' vertical clearance measured from the sidewalk.</p> <p>Projecting signs must be illuminated by external means only.</p>	 <p>The diagram shows a three-dimensional perspective of a building facade, similar to the one above. A yellow rectangular sign is mounted on a bracket that projects from the wall above the entrance awning. The sign is labeled 'Projecting sign'. The building has two windows on either side of the entrance and two dormer windows on the roof.</p>

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

3	SIGNAGE (CONTINUED)	
d. free-standing/monument	<p>Monument or post-style signs, are permitted in the Courthouse District for non-residential and residential conversion properties.</p> <p>Free-standing signs must not exceed 4' in height and 24 square feet in size on Emmett, and shall not exceed 4' in height and 6 square feet for other streets in the district.</p>	
e. building identification	<p>Building identification signs, or signs permitted to be installed only on a building to identify the name only of that building, shall be permitted at 1 sign per building for the Courthouse or Emmett Street lots only. Building identification signs are only permitted on structures over three stories in height. They may be combined with other signage types and may be mounted above the ground floor, but must not protrude above the roof line or roof cornice. Additionally, building identification signs must not obscure any architectural elements of the building facade. Building identification signage must not exceed 1 square foot per 1 linear foot of building frontage.</p> <p>See Architectural Standards, Volume III for examples.</p>	

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

3	SIGNAGE (CONTINUED)
f. multiple business	<p>Where multiple businesses occupy the same building in the Courthouse District, multiple business names may be listed on a single sign, but must conform to the guidelines set forth in the Architectural Standards (Volume III).</p>
h. temporary signs	<p>Temporary signs shall be permitted under the provisions of §14-2-157 of the Land Development Code with the following exceptions:</p> <p>Cold air balloons shall be prohibited in the CRA with the exception of those properties with direct frontage on Vine Street or John Young Parkway.</p> <p>Temporary window signs must not exceed a maximum of 25% of the transparent glass area of any window.</p>
g. lighting	<p>External illumination or sign backlighting are permitted in the CRA district for all sign types. Internal illumination of signage is prohibited.</p>
h. other	<p>No flood lighting, (with the exception of neighborhood-friendly wall packs and/or security and surveillance lights) message board displays, or other incompatible signage (refer to the Architectural Standards, volume III) will be permitted in the CRA.</p>

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

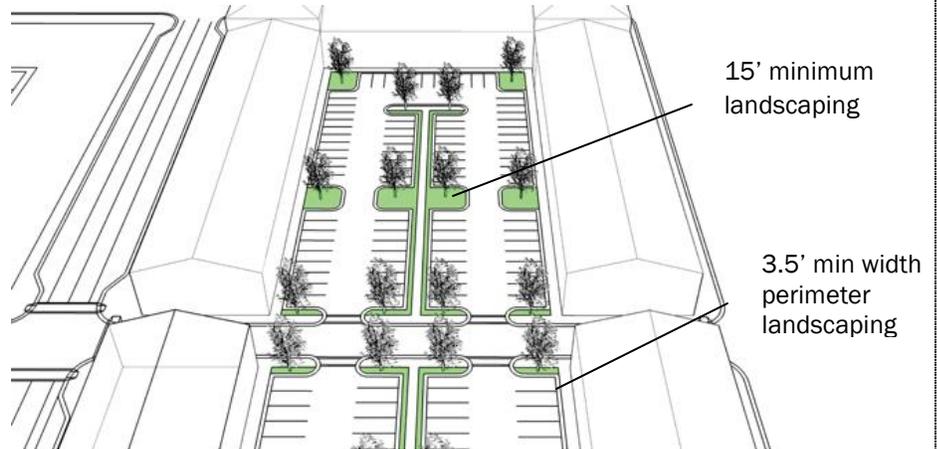
4 LANDSCAPE

A minimum of 15% of any surface parking lot shall be landscaped or planted. This shall not include perimeter landscape buffer requirements.

In the Courthouse District, perimeter landscaping requirements may be reduced to a width of 3.5'.

The type of landscaping requirements shall follow the LDC.

For residential conversions, the overall landscaping requirements for surface parking lots shall be reduced to 5% of the total area. When feasible, these 5% requirements can also be met by increasing the landscaping buffers above and beyond the minimum standards.



a. parking lots, general

b. other

Landscaping requirements in the CRA District should support the overall design intent. For the Courthouse and Neighborhood Districts, in instances where site constraints make it difficult to meet the landscape requirements, creative solutions should be sought through a Developer's Agreement to locate landscaping in the public right of way.

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

5	LIGHTING
a. parking lots and pedestrian areas	<p>The maximum height of any parking lot lighting shall be 15'. Light fixture cutoffs shall block no less than 85% of light projecting upward.</p> <p>Light fixtures shall match the streetscape types, or be dark colored and acorn style with metal halide lighting.</p> <p>Pedestrian areas outside of parking areas shall have low scale lighting and fixtures compatible with the rest of the site.</p>
b. parking lots	<p>For residential conversion properties, lighting shall be the same as for the existing single family residential in the area. No additional lighting shall be added that would change the character of the area.</p>
c. other	<p>Low level decorative lighting of architecture, walkways, and landscaping is permitted in the CRA, but shall not include flood lighting, with the exception of neighborhood-friendly wall packs and/or security/surveillance lights.</p>

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

6	SITE ACCESS AND DRAINAGE
a. access point separation from other access points	<p>The minimum separation between two two-way access points located on the same side of a street specified in § 14-2-81(B) of the Land Development Code may be reduced to 30 feet. This does not apply to an access point on a street classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
b. access point separation from intersections	<p>The minimum separation between the edge of driveway pavement and an arterial or collector street intersection right-of-way line specified in § 14-2-81(C) of the Land Development Code may be reduced to 25 feet. This does not apply to an access point on a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
c. access point separation from property line	<p>The minimum separation between an access drive and adjacent lot at the right-of-way line specified in § 14-2-81(E) of the Land Development Code may be reduced to five feet where there is no joint access drive. Such a reduction shall not be allowed along a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>

II-C. PRIVATE DEVELOPMENT STANDARDS - COURTHOUSE DISTRICT

6	SITE ACCESS AND DRAINAGE
d. fire lane access and driveway widths'	<p>The minimum width of a fire lane and a fire access drive specified in § 14-2-82(B)(3) of the Land Development Code may be reduced to a minimum of 10' with Fire Department approval. Two-way driveway widths and backing for perpendicular parking must have minimum of 20' and maximum of 24'. Access point widths shall be consistent with driveway widths.</p>
e. parking lot stacking distance	<p>The minimum distance along an entranceway between the street right-of-way line and the first parking space or intersecting driveway specified in § 14-2-80(E) of the Land Development Code may be reduced to five feet for entranceways serving one or more buildings with a total of less than 3,000 square feet of gross floor area. This shall not apply to sites with medical offices or medical clinics.</p>
f. drainage and retention areas	<p>Any required retention in between the building and the public right of way for existing structures cannot be any deeper than one foot and must have a subtle transitional bank to the bottom; pond shall not have any control structures (or similar devices) and a buffer of landscaping or other aesthetic treatments shall be included to soften the vertical transition from yard to pond. In addition, rain gardens that meet all retention requirements may be used in lieu of retention ponds. For new construction, retention must be placed in the rear or side yard, not facing the public right of way, and can be at any depth.</p> <p>Vehicular use areas which have less than 2,000 square feet of area with a durable all-weather surface as described in § 14-2-80(G) may be relieved of the city requirements for providing stormwater detention/ retention, but shall still be required to meet SFWMD water quality standards.</p>
g. parking space size	<p>Parking spaces shall be a minimum of 9 feet wide and 18 feet long (can be reduced to 16' if 2' of vehicular overhang is provided outside of the required sidewalk or buffer widths).</p>



D. NEIGHBORHOOD DISTRICT



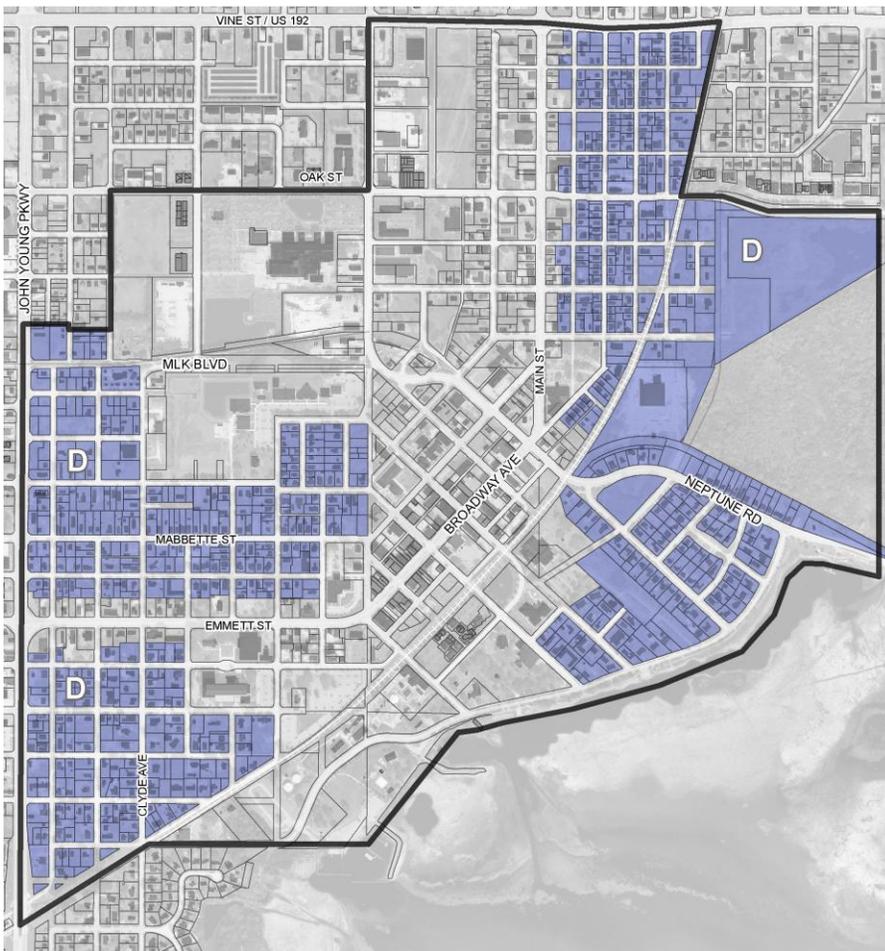
II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT



Introduction to the Neighborhood District

The Neighborhood district includes areas to the northeast and southwest of the CRA divided by the Gateway, Courthouse, and Mixed Employment districts. Residential conversions are prevalent along Emmett and Main Streets and include the conversion of residences to small businesses or professional practices. (See Neighborhood District section in Architectural Guidelines, Volume III for details).

Photo of a typical residential street

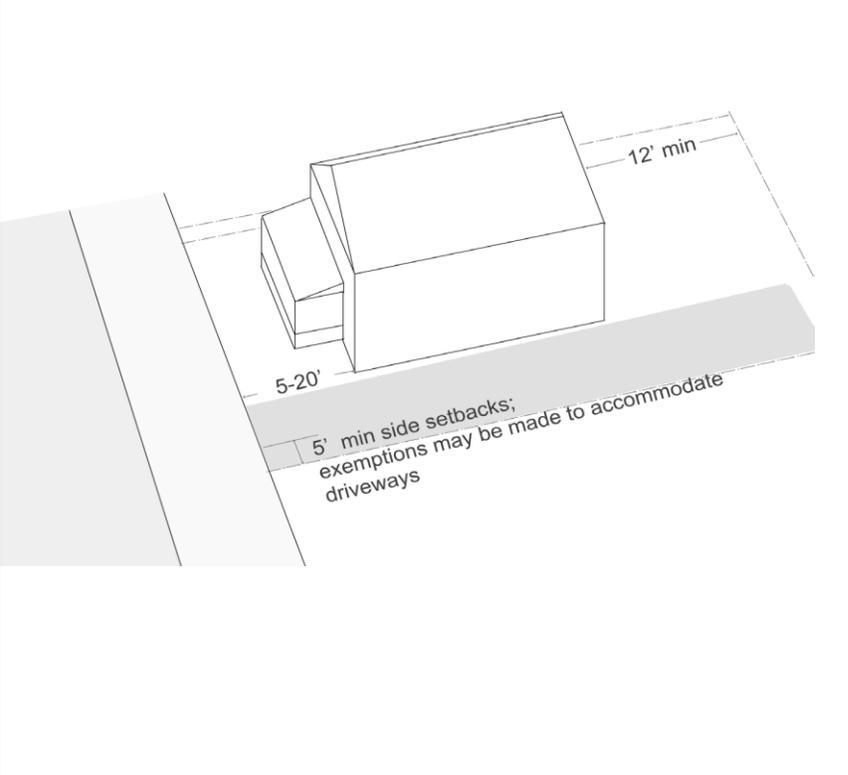
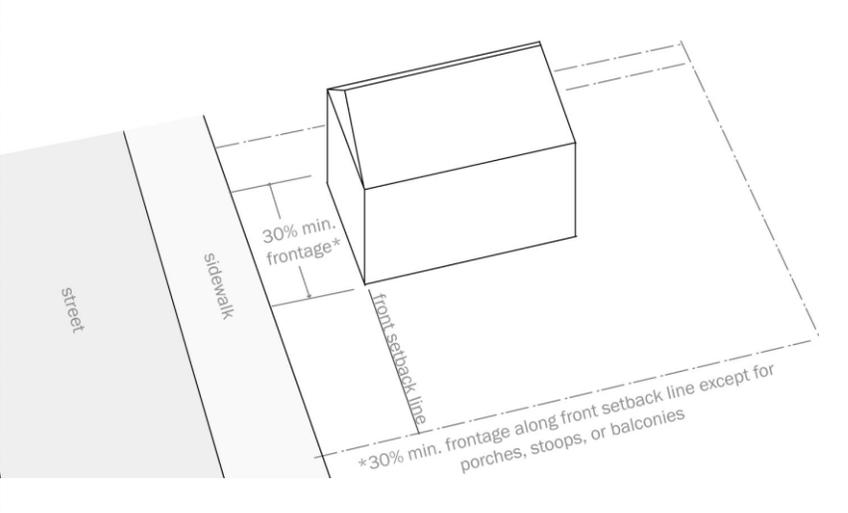


Neighborhood District Key Map

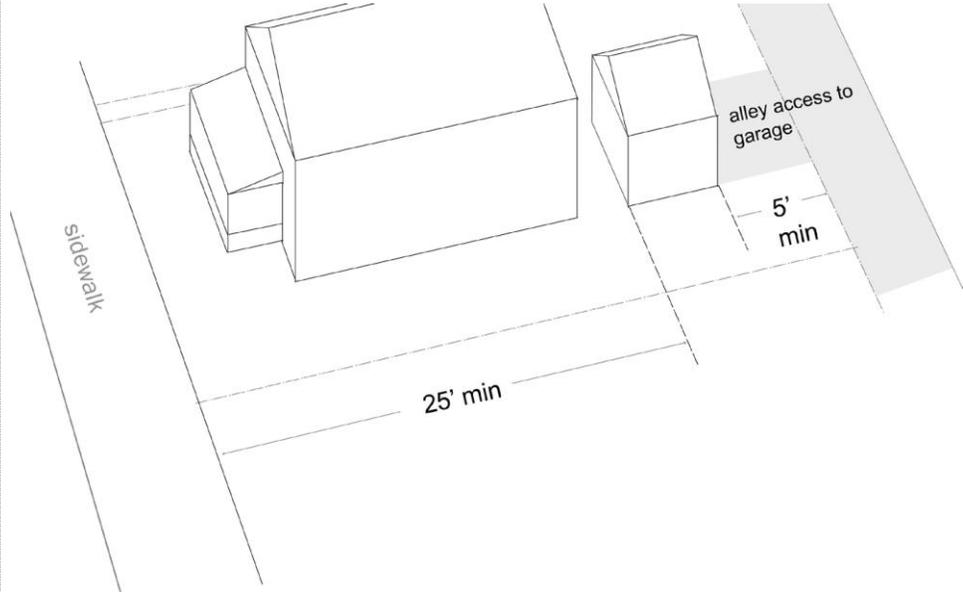
The areas that form the Neighborhood District include a diverse range of housing styles built over various time periods throughout the area's historic development. A common feature across this district is a regularized pattern of gridded streets that provide the framework for a pedestrian-friendly environment. Additionally, the Florida tradition of porches in the front, shallow setbacks, and parking set back from the street further reinforce this framework.

As the district re-develops over time, there is a desire to conserve traditional residential styles and patterns of development. Should residences convert to small businesses, they shall follow the standards set forth for residential development and preserve the historic context of the CRA.

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

1 SITE DESIGN	
<p>a. building setbacks</p> <p>Front facade: The street facade (front or side) shall have a minimum front setback of 5 feet and a maximum front setback of 20 feet.</p> <p>Side: Side setbacks shall be a minimum of 5 feet.</p> <p>Rear: Where they is no alleyway, a minimum of 12' setback is required from the rear lot line. For lots with alleyways, the minimum rear setback is 5'.</p>	
<p>b. building frontage</p> <p>A minimum of 30% of the building facade shall be built along the front setback line. However, jogs in the facade wall up to a maximum of 18" are permitted.</p> <p>Porches, stoops, and balconies may project into setback area so long as they do not encroach into the minimum 5' setback area.</p>	
<p>c. paving</p> <p>For office conversions, decorative pavers shall be provided instead of asphalt or concrete for the extent of the entire parking lot, including drive aisles.</p>	

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

1	SITE DESIGN
d. lot size	<p>The minimum lot size for non-residential uses shall be 7,500 square feet and 60 feet wide.</p>
e. parking access	<p>Access shall be from an alleyway, where present. Garages shall be set back a minimum of 5' from the alley.</p>  <p>The diagram shows a perspective view of a lot. On the left, a sidewalk runs parallel to the street. A building is shown with a garage. A dimension line indicates a 25' minimum setback from the sidewalk to the building. To the right of the building, an alleyway provides access to the garage. A dimension line indicates a 5' minimum setback from the alleyway to the garage.</p>

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

1 SITE DESIGN

f. parking, residential conversions

For conversions in the Neighborhood District, parking shall be accommodated to the rear or side of the lot, set back a minimum of 25' from the front lot line. For corner lots, parking shall be setback a minimum of 10' from façade on streetside. Parking lots shall not exceed 30% (not inclusive of the driveways) of the total lot area. Where two non-residential use buildings share adjacent lot lines, shared parking lots and access driveways are encouraged.

All parking areas shall be landscaped and screened from view from the street or adjacent residences.

The type of landscaping and specifications shall be referred to the LDC.

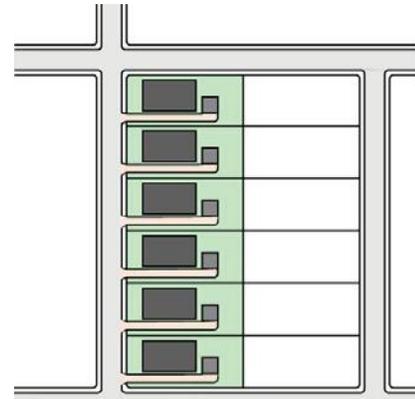


Diagram of Typical Residential Block

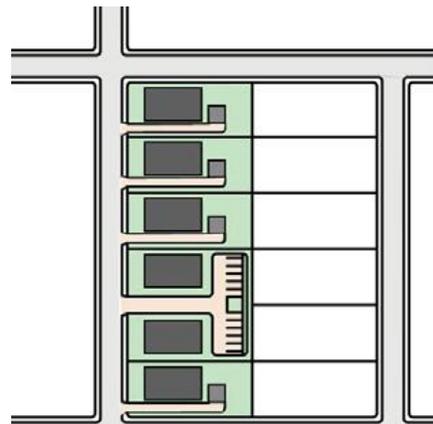


Diagram of Typical Residential Block with residential conversion parking lots accessed from a shared driveway

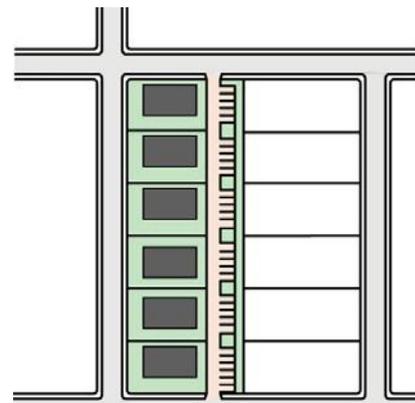
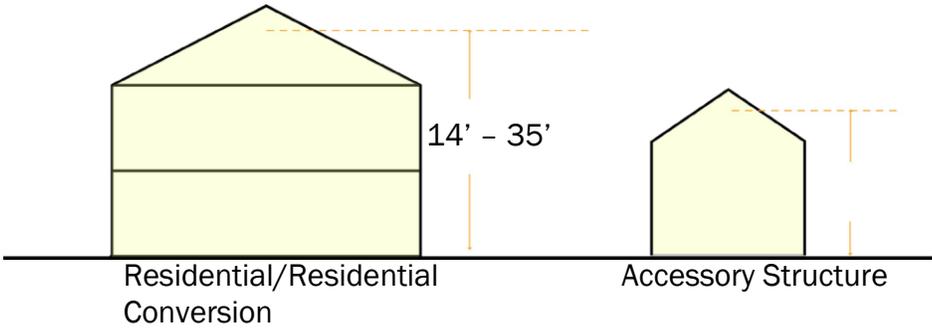


Diagram of residential conversions integrated into a typical residential block with side-road/alley access to parking

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

2 BUILDING ELEMENTS	
<p>a. building height</p> <p>The minimum building height for the Neighborhood District shall be single story at 14' in height measured from the ground floor elevation to the median roof height, and the maximum building height shall be 3 stories with a maximum height of 35'.</p> <p>Accessory structures including garages shall be subordinate in size to main building structure and not exceed two stories in height.</p>	 <p>Residential/Residential Conversion</p> <p>Accessory Structure</p>
<p>b. entrances</p>	<p>All buildings in the Neighborhood District shall have a main entrance fronting the public street. Buildings on corner lots shall have at least one public entrance fronting a public street.</p>

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

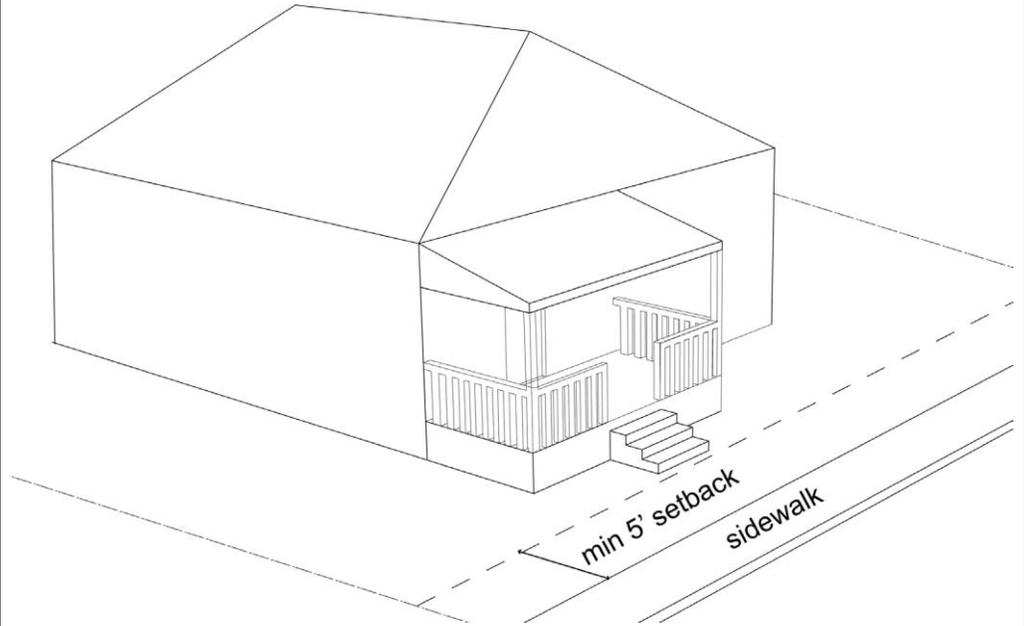
2 BUILDING ELEMENTS (CONTINUED)

c. porches

Porches are encouraged in the Neighborhood District. The depth and width shall be compatible in size and scale to main building structure, and with the architecture and materials of the primary building (See Volume III: Architectural Standards).

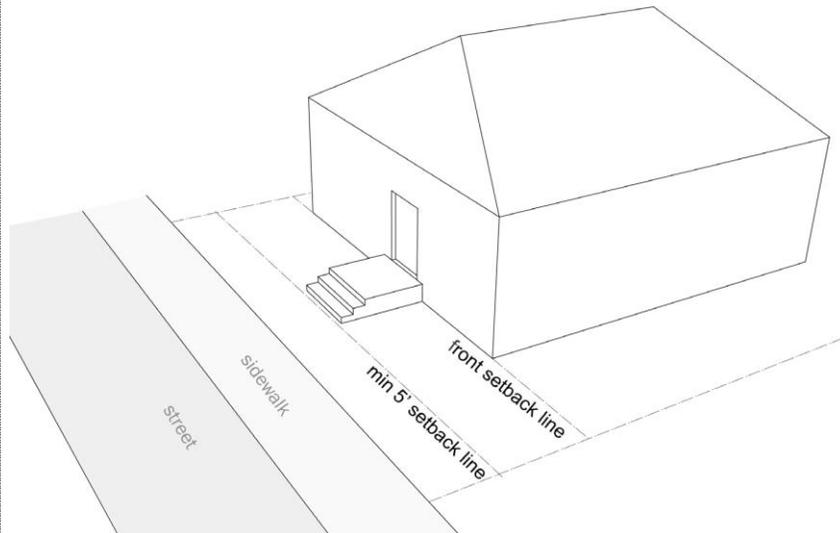
Porches are distinct from front stoops and separate standards apply.

Porches may extend beyond the front setback line toward the sidewalk so long as they do not encroach into the minimum 5' setback area.



d. stoops

Stoops and entryways shall be oriented toward the sidewalk. Stoop width and length shall be proportionate to entry way widths. Stoops may extend beyond the front setback line toward the sidewalk.



II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

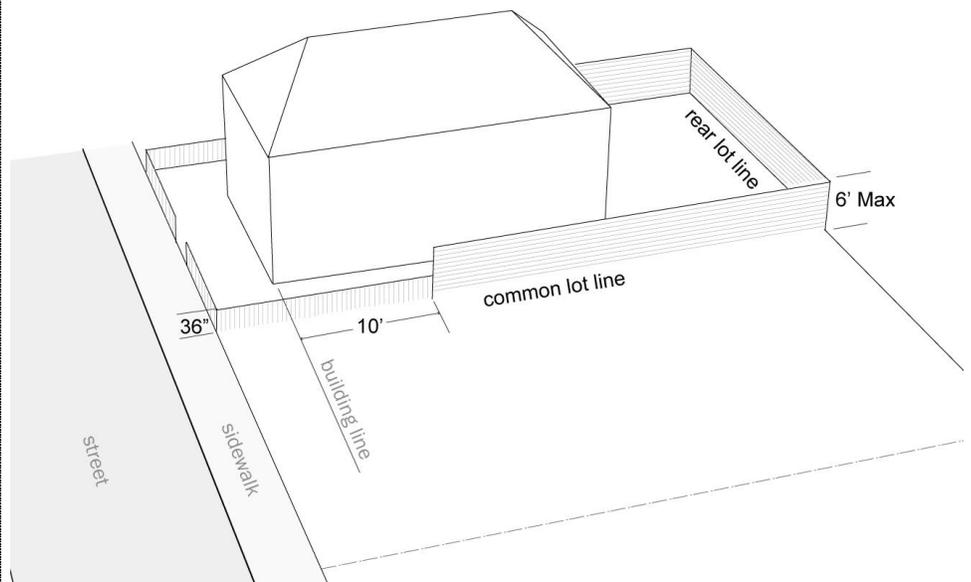
2 BUILDING ELEMENTS (CONTINUED)

e. balconies

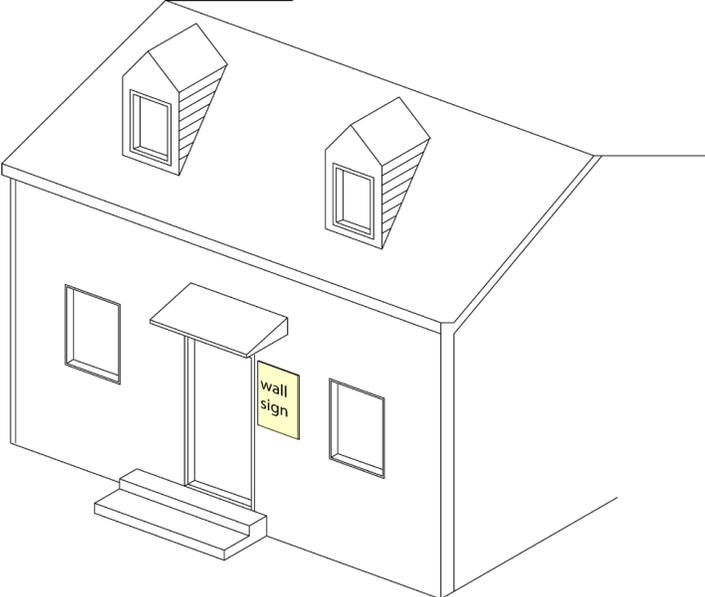
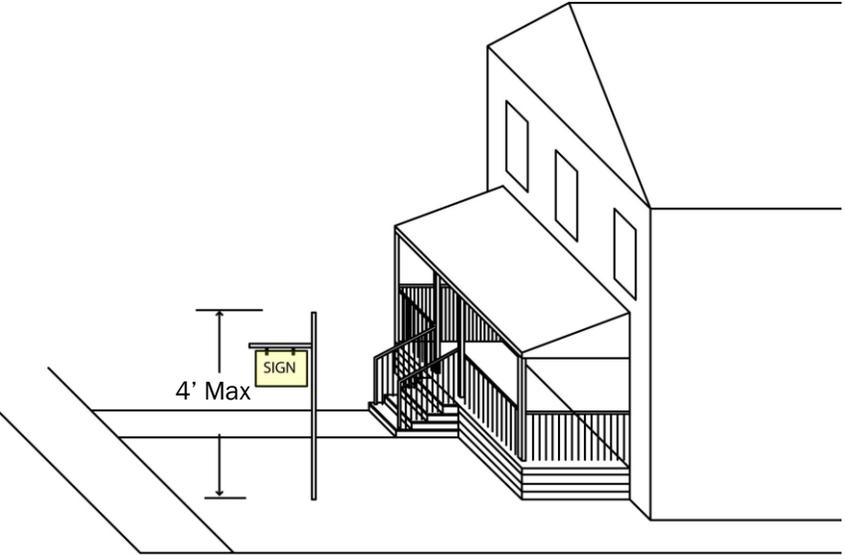
Balconies are permitted in the Neighborhood District and shall be built in proportion to building facade per Architectural Guidelines in Volume III.

f. fences and walls

Ornamental fences or low stone walls are permitted at a maximum height of 36" along the edges of a property (see Architectural Standards on acceptable fencing and wall materials.) At 10' or more behind the front building line, a privacy fence is permitted up to a maximum height of 6'.



II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

3	SIGNAGE	
a. general	<p>In general, signs are only permitted for non-residential uses and residential conversions in the Neighborhood District.</p> <p>When residences are converted into businesses, signage shall be permitted in the Neighborhood District. The following section shall be used to select appropriate and context-sensitive signs. In all cases, only one sign per establishment shall be permitted in the Neighborhood District. If multiple businesses occupy the same building, see the section on multiple business signage.</p>	
b. wall, residential conversions	<p>Wall signs shall be permitted at 1 sign per establishment with an entrance fronting a public street.</p> <p>Wall signs must not exceed 4 square feet and shall attach to the wall on the first floor.</p> <p>If illuminated, wall sign must be lit by external means only.</p> <p>Placard signs highly encouraged.</p>	 <p>A line drawing of a two-story house with a gabled roof and two dormer windows. A yellow rectangular sign with the text 'wall sign' is mounted on the first-floor wall to the right of the entrance. The entrance has a small porch with steps.</p>
c. free-standing/monument signs	<p>Monument and post-style, are permitted in the Neighborhood District for non-residential and residential conversion properties.</p> <p>Free-standing signs must not exceed 4' in height and must be a maximum of 6 square feet.</p> <p>Free-standing signs adjacent to arterial/collector roads must not exceed a maximum of 12 square feet.</p>	 <p>A line drawing showing a free-standing sign on a street corner. The sign is a yellow rectangle with the word 'SIGN' on it, mounted on a post. A vertical dimension line indicates the sign's height is '4' Max'. The sign is positioned next to a building with a porch and stairs leading up to it.</p>

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

3	SIGNAGE (CONTINUED)
d. multiple business signage	<p>Where multiple businesses occupy the same building in the Neighborhood District, multiple business names may be listed on a single sign, but must conform to the guidelines set forth in the Architectural Standards, Neighborhood District (Volume III).</p>
h. temporary signs	<p>Temporary banners shall be permitted in the CRA and must adhere to the regulations set forth in §14-2-157(A) of the Land Development Code.</p> <p>Cold air balloons shall be prohibited except on those properties with direct frontage on John Young Parkway. Balloons must adhere to those standards set for in §14-2-157(C) of the Land Development Code.</p>
e. lighting	<p>External illumination or sign backlighting are permitted in the CRA district for all sign types. Internal illumination of signage is prohibited.</p>
f. other	<p>No flood lighting, (with the exception of neighborhood-friendly wall packs and/or security and surveillance lights) message board displays, neon or other incompatible signage (refer to the Architectural Standards, volume III) will be permitted in the CRA.</p>

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

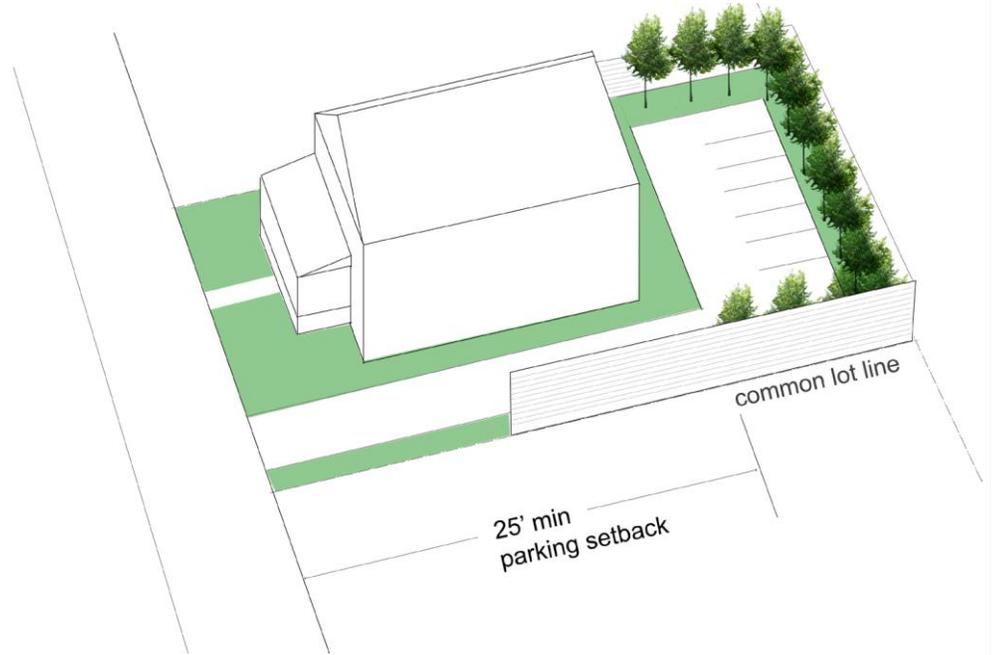
4 LANDSCAPE

a. parking lots

For all residential conversions, surface parking lots shall be located to the rear or side of the building and shall be screened with landscaping and fencing. Wherever possible, locate parking access from an alleyway.

In the Neighborhood District, perimeter landscaping requirements may be reduced to a width of 3.5'.

The type of landscaping requirements shall follow the LDC.



b. other

Landscaping requirements in the CRA District should support the overall design intent. For the Courthouse and Neighborhood Districts, in instances where site constraints make it difficult to meet the landscape requirements, creative solutions should be sought through a Developer's Agreement to locate landscaping in the public right of way.

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

5	LIGHTING
a. parking lots	<p>For residential conversion properties, lighting shall be the same as for the existing single family residential in the area. No additional lighting shall be added that would change the character of the area.</p>
b. other	<p>Low level decorative lighting of architecture, walkways, and landscaping is permitted in the CRA, but shall not include flood lighting, with the exception of neighborhood-friendly wall packs and/or security/surveillance lights.</p>

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

6	SITE ACCESS AND DRAINAGE	
a. access point separation from other access points		<p>The minimum separation between two two-way access points located on the same side of a street specified in § 14-2-81(B) of the Land Development Code may be reduced to 30 feet if the access points are located in an RB-2, RPB, or other residential district. This does not apply to an access point on a street classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
b. access point separation from intersections		<p>The minimum separation between the edge of driveway pavement and an arterial or collector street intersection right-of-way line specified in § 14-2-81(C) of the Land Development Code may be reduced to 25 feet. This does not apply to an access point on a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
c. access point separation from property line		<p>The minimum separation between an access drive and adjacent lot at the right-of-way line specified in § 14-2-81(E) of the Land Development Code may be reduced to five feet where there is no joint access drive. Such a reduction shall not be allowed along a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>

II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

6	SITE ACCESS AND DRAINAGE
d. Fire lane access and driveway widths'	<p>The minimum width of a fire lane and a fire access drive specified in § 14-2-82(B)(3) of the Land Development Code may be reduced to a minimum of 10' with Fire Department approval. Two-way driveway widths and backing for perpendicular parking must have minimum of 20' and maximum of 24'. Access point widths shall be consistent with driveway widths.</p>
e. parking lot stacking distance	<p>The minimum distance along an entranceway between the street right-of-way line and the first parking space or intersecting driveway specified in § 14-2-80(E) of the Land Development Code may be reduced to five feet for entranceways serving one or more buildings with a total of less than 3,000 square feet of gross floor area which are located in a RB-2 or RPB District. This shall not apply to sites with medical offices or medical clinics.</p>
f. drainage and retention areas	<p>Any required retention in between the building and the public right of way for existing structures cannot be any deeper than one foot and must have a subtle transitional bank to the bottom; pond shall not have any control structures (or similar devices) and a buffer of landscaping or other aesthetic treatments shall be included to soften the vertical transition from yard to pond. In addition, rain gardens that meet all retention requirements may be used in lieu of retention ponds. For new construction, retention must be placed in the rear or side yard, not facing the public right of way, and can be at any depth.</p> <p>Vehicular use areas which have less than 2,000 square feet of area with a durable all-weather surface as described in § 14-2-80(G) may be relieved of the city requirements for providing stormwater detention/ retention, but shall still be required to meet SFWMD water quality standards.</p>
g. parking space size	<p>Parking spaces shall be a minimum of 9 feet wide and 18 feet long (can be reduced to 16' if 2' of vehicular overhang is provided outside of the required sidewalk or buffer widths).</p>

City of Kissimmee
Design Manual for the CRA Overlay District



ARCHITECTURAL
STANDARDS



VOLUME III

City of Kissimmee Design Manual for the CRA Overlay District

ARCHITECTURAL STANDARDS

VOLUME III

PURPOSE OF THIS SECTION:

The purpose of this section, “Architectural Standards,” is to provide guidance to the Architectural Review Committee (ARC), a subcommittee of the Development Review Committee (DRC) that will review the proposed design of all new buildings in the CRA.

Visual impressions are typically formed as one enters the CRA and experiences a series of “views from the road.” The quality of Kissimmee’s building facades and streetscapes leaves an important impression on visitors and residents alike. There is currently a contrast between the visual richness and historic character of some districts, such as the downtown, and the relative sameness and lack of visual distinctiveness of many other areas in the City.

The establishment of an ARC, and the application of consistent harmonious design guidelines to the architectural review of new development in the CRA presents a key opportunity to strengthen Kissimmee’s and the CRA’s overall image and identity. A positive visual image for these key design elements will contribute much to the overall positive impression Kissimmee can make as a city and as an attractive place to live and work.

STRUCTURE AND USE OF THIS SECTION:

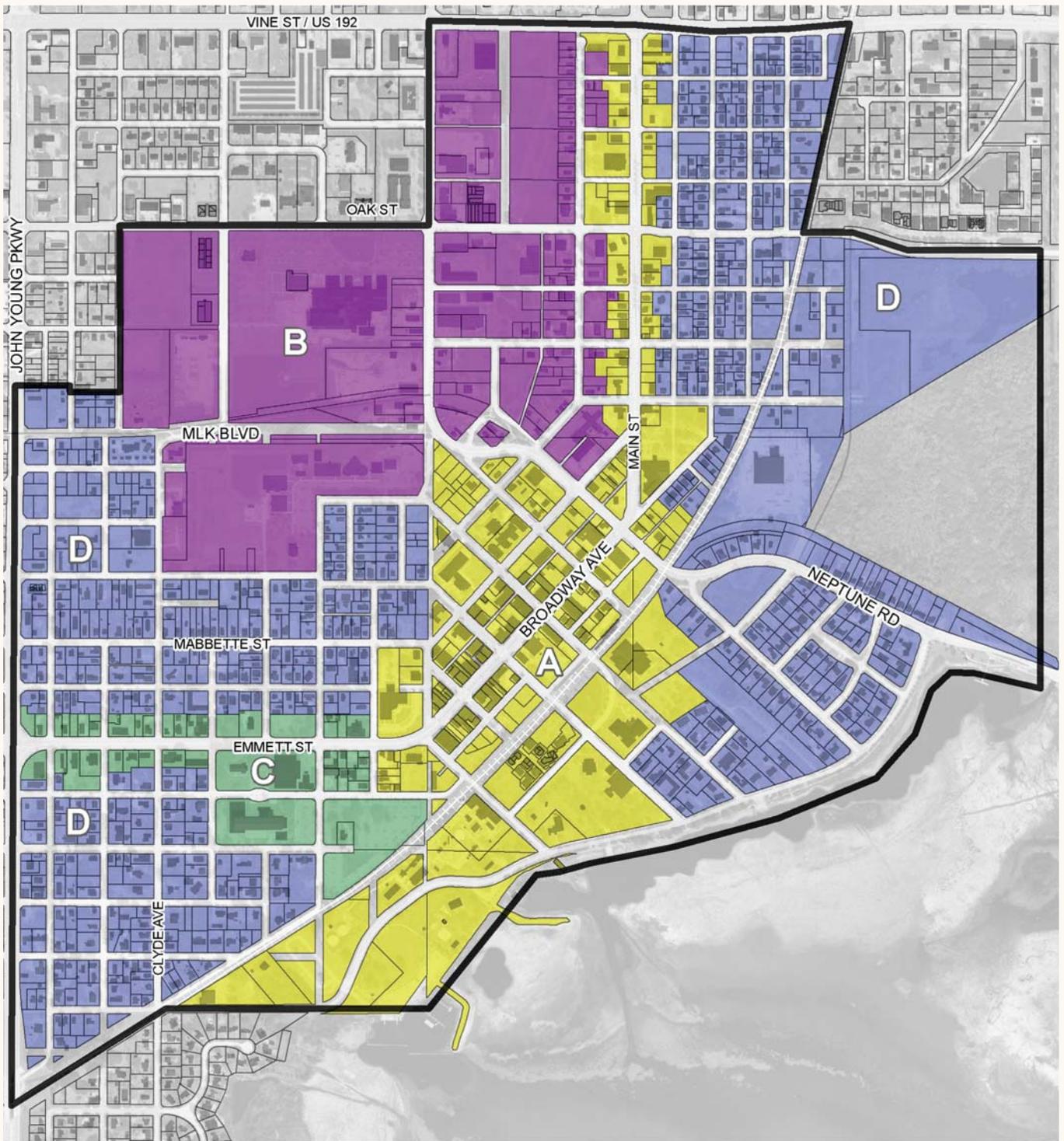
The Architectural Standards are organized into a series of design elements such as building form, windows, roofs, colors and materials. Each of these is described through a set of design guidelines and illustrated with prototypical examples to show the application of the standard.

This section is primarily intended for the use of the Architectural Review Committee as a basis for their architectural review of development in the CRA. These guidelines supplement, but do not replace the ‘measurable’ design criteria in Volume II- Private Development Standards. The reason that these are separated from those ‘measurable standards’ is that they deal more with the stylistic or ‘subjective’ design elements such as color and character, and less with ‘objective’ standards such as building height or setback (for example).

These standards, along with the establishment of the ARC, and its review process, will be adopted directly into the Kissimmee Land Development Code. For items that are not addressed in the Design Manual, LDC standards shall apply.

CRA DISTRICT MAP

The CRA District Map identifies the boundaries of four general districts: A- Gateway District, B- Mixed Employment District, C- Courthouse District, D - Neighborhood District. For properties located in more than one District, the property frontage shall define which District guidelines shall apply.



These are the same districts as in Volume II - Private Development Standards. For the purpose of this volume, the standards for the Gateway and Mixed Employment Districts have been combined together.

CONTENTS

Sections included in this document are as follows:

III-A&B. GATEWAY AND MIXED EMPLOYMENT (ME) DISTRICTS

1. character and context	p. III-4
2. building orientation	p. III-4
3. massing and height	p. III-5
4. facade composition	p. III-6
5. cornice and roof shape	p. III-7
6. storefront design	p. III-8
7. materials and colors	p. III-9
8. private signage	p. III-10
9. landscaping and screening	p. III-11
10. parking lot design	p. III-12

III-C. COURTHOUSE DISTRICT

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2. form and massing	p. III-13
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4. parking	p. III-15
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7. colors	p. III-17
8. door and window openings	p. III-18
9. porches and deck	p. III-19
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III-D. NEIGHBORHOOD DISTRICT

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A&B. GATEWAY AND MIXED
EMPLOYMENT DISTRICTS



III A&B. GATEWAY AND MIXED EMPLOYMENT DISTRICTS

III-A&B.1. CHARACTER AND CONTEXT



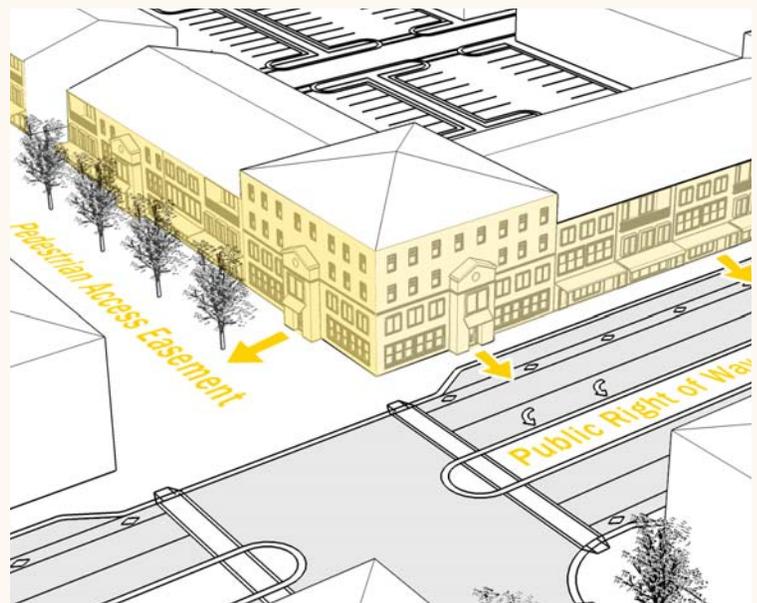
New buildings in the CRA should be compatible with surrounding buildings to create a streetscape that maintains a consistent scale while allowing unique articulation between buildings. The Gateway and Mixed Employment (ME) Districts include many buildings of historic significance along Broadway, Main and other streets that together define the unique urban character of Kissimmee.

III-A&B.2. BUILDING ORIENTATION

Much of historic downtown Kissimmee was built as a walkable, compact small town. By contrast, development outside the downtown is frequently auto-oriented and unfriendly to pedestrians. By simply reconfiguring the building placement, one can reduce walking distances for customers and make streets more useful for pedestrians, transit users, and bicyclists.

Street Wall

- Buildings shall be sited close to the street's edge to provide "spatial enclosure," an important quality for a pedestrian-friendly streetscape and to reduce walking distances for pedestrians.
- Recesses may be used for outdoor seating areas, plazas, markets, or other pedestrian-oriented activities.
- Parking shall be relegated to the rear of buildings or internal to a block, allowing primary building entrances to be directly adjacent to the sidewalk.



Buildings drawn to the street's edge, with parking relegated to the interior of the block, create a sense of spatial enclosure and provide direct pedestrian access to building entrances from the sidewalk.

Massing

Massing describes the physical form of a building or group of buildings. Massing shall be compatible with surrounding buildings to create a streetscape that maintains a consistent scale while allowing unique articulation between buildings.

- A single, unarticulated building mass shall be avoided.
- Building setbacks and frontage should generally match that of adjacent structures to create a unified streetscape.
- Building mass and articulation shall generally follow the traditional shopfront architecture of downtown.
- Breaking the established pattern of spacing and rhythm of a streetwall may be used to emphasize a circulation pathway, or a transition to a different use.



Buildings should create a uniform “street wall” with consistent setbacks, but varying heights and proportions; a contrasting first floor treatment is used to distinguish the building ‘base’

Height

- Variations in height, horizontal divisions, window treatments, and facade materials shall be used to create facade articulation and break up the perceived mass of a building.



A pedestrian alleyway breaks the street wall to emphasize circulation to an interior parking area.

First Floor Articulation

- A continuous first floor cornice or horizontal decorative band shall be maintained for all buildings along the length of each block at a height of 12 ft. - 14 ft. above grade.
- Upper stories may be slightly set back from the ground floor and treated with different materials and colors to reinforce the contrast with the base of the building.

III-A&B.4. FACADE COMPOSITION

Building frontages are the interface between the public street and the building interior. The placement and size of the facade elements are critical to the way a building is perceived - its scale and character. In general, the larger the expanse of blank wall on a building, the larger the structure appears to be to the pedestrian on the street.

Rhythm

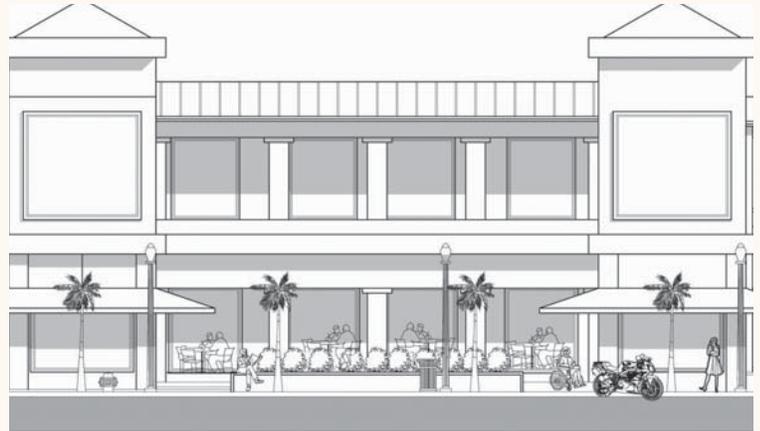
- At the scale of an entire block, building widths, recesses, and storefronts should generally be uniformly spaced and scaled to create visual unity in the streetwall.
- At the scale of a building facade, rhythm shall be established through the repetition of elements such as windows, columns, recesses and projections, color, materials, etc.

Vertical composition

- Building facades shall be vertically articulated to identify a base, body, and a top.
- The ground floor may be defined by architectural features such as arcades and awnings that help to enclose the pedestrian space and provide a comfortable sense of scale, or landscape materials such as street trees and foundation planting.
- Retail spaces shall have a ground-floor entryway fronting the public thoroughfare and visible to pedestrians, and transparent storefront windows that integrate the interior space with street activity.
- The middle portion of a building shall have evenly spaced bays of windows, reflecting either a residential or office use.
- The top portion of a building may be defined by roof form, eaves, and cornices.

Horizontal composition

- Facades over 50' long, measured horizontally, shall incorporate elements to help break down the mass of the facade wall. These elements include: recesses and projections of the wall plane, entryways or storefront windows, changes in texture, material, or color, and arcades and balconies. Please refer to the Private Development Standards, Volume II for specific standards for building elements).



Elements such as columns, street trees, recesses and projections, awnings, and towers may be repeated for facade rhythm.



Top: Roof cornice

Body:

The regular spacing of windows and the change in color and texture from the ground floor, reflects a change in use from retail to residential or office.

Base:

Ground floor retail articulated by windows, doors, awnings, brick and capped by a storefront cornice

Vertically articulated facades use storefronts and awnings to identify the base, evenly spaced window bays for the upper floors, and articulate the roof with a cornice or parapet.



Incorporating building elements such as arcades and awnings, or recesses and projections of the wall plane help to articulate the street wall into a unified composition.

Cornice and Parapet Walls

- Generally, mixed use buildings with flat roofs shall contain parapets that project above the roof line and provide a decorative “top” to the building

Roof Shape

- The dominant roof form in the traditional commercial core of Kissimmee is flat, with occasional (gable or peaked) roofs also present.
- Mixed use buildings shall generally have flat roof forms when viewed from the street, with occasional decorative elements allowed to have pitched, gable or hip roofs.

Roofing Material and Color

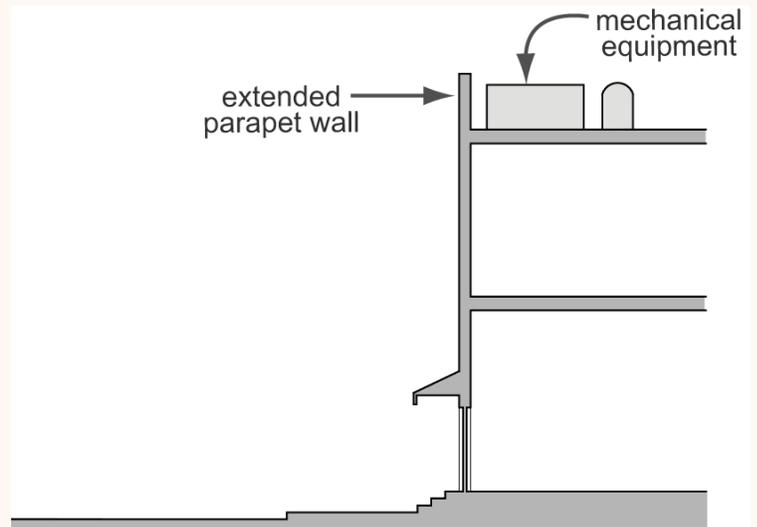
- When pitched roofs are used, they shall be either standing seam, metal, asphalt or slate shingle.
- Colors on portions of roofs that are visible from the street shall be neutral dark gray or earth tones.

Mechanical Equipment

- Rooftop mechanical equipment shall not be visible from public rights of way, and shall be screened by roof or parapet projections, or otherwise integrated into the overall roof form of the building



Adjacent buildings are unified by facade details such as cornices, but remain distinct by the slight variation in cornice height and design.



Parapets extend the facade above the roof line and are useful for screening rooftop mechanical equipment.

Storefront design is critical to creating a vibrant, active streetscape. Storefronts diversify a streetscape creating unique identities among adjacent shops or offices. Large, transparent glass windows provide a visual connection between the interior and the exterior of the store and the skillful use of colors, materials, window displays and lighting all become a part of the pedestrian experience. Please refer to the Private Development Standards, Volume II for more details on fenestration and entryways.



Storefront design provides color, rhythm, richness in materials, and activates the streetscape.

Composition

- The storefront shall consist predominantly of transparent glass windows and/or doors with transparent glass windows that span a vertical space between 3-4' above ground level to 8' above ground level.
- Storefronts shall generally be 15-35' in width and each have their own recessed entryway.
- Transoms, kick plates, cornices, windows and signage bands shall all be horizontally aligned wherever possible.

Windows

- 40% -50% of the area of the first floor facade shall be transparent. (See Private Development Standards, Volume II for detailed fenestration requirements.)
- Windows may be capped by cornices and signage bands and the base of the windows may be defined by planters or built-in planting beds.



Large, transparent windows provide a connection between pedestrians and the interior of the shop.

Entryways

- Retail and commercial spaces shall have a ground-floor entry fronting the public thoroughfare and visible to pedestrians.
- Entrances shall incorporate transparent areas that integrate the interior space with street activity.
- Entryway recesses, ground paving materials, door colors, lighting, and signage shall enhance the distinction between adjacent storefronts and create visual interest along the streetscape.



Recessed entryways provide visual interest and diversity along the streetscape.

All primary buildings shall be constructed or clad with materials that are durable, economically maintained, and of a quality that will retain their appearance over time. Variations in materials and colors are important for creating a vibrant and interesting streetscape.

Building Materials

- Acceptable building materials include, but are not limited to, clapboard siding, pre-cast concrete, stone, brick, or stucco. Exposed metal or similar materials prohibited.
- All sides of a building, visible from the public street, shall have consistency in architectural detail and character.

Fence and Wall Materials

- Fences shall be comprised of durable materials including wood, iron and PVC.
- No chain link fences shall be permitted in this district.
- Low walls shall be comprised of materials compatible with those of the main building or adjacent buildings.
- No stockade fences or stucco walls (other than building walls) shall be permitted.

Colors

- Colors shall be skillfully used to complement building architecture and contribute to the facade articulation along the streetscape. Entryways, openings, roof trim and other architectural details should be highlighted with a change in texture and color. Colors should be compatible with other buildings in the area. Color and texture for architectural finishes should be selected to provide visual unity.

Doors and Windows

- Window glass shall be clear and transparent or tinted a neutral color. No reflective material is permitted in the CRA district.



Colors can be skillfully used to complement building architecture and

Awnings

- Awnings, if provided, shall project a minimum of 36" from the building.
- Awnings shall not extend across multiple storefronts, but shall be broken into segments that reflect the door or window openings below them.
- Awning materials should be compatible with the building and surrounding building materials. Canvas or fabric are recommended, while vinyl and plastics are not permitted.
- Awnings shall not be illuminated from the inside.

Signs sensitive to nearby non-commercial uses respect the scale and proportion of buildings, and signs that contribute to the ambiance of a place can help secure and maintain a healthy economic climate. The character of the community, neighborhood, or in some cases the specific roadway shall be reflected in the design of signage. Dispersed strip commercial uses are primarily accessed by car while compact mixed-use areas are easily transversed on foot. The relative size and character of signage should be related to how it will be primarily viewed - by foot or by car. Additionally, locations that are rich with historic buildings, must carefully locate and size signage to respect the architectural character of the area.

Pedestrian-oriented Signage

- Signage in walkable areas shall be oriented to pedestrians. Because buildings are closer to the street, signs shall be smaller and placed at a lower height, preferably at the top of the ground floor level.
- A variety of signs may be used, including: awnings, projecting or hung signs, storefront window signs, and wall signs fixed to building facades. Because movement is slower, signs may incorporate multiple colors and text types.

Commercial Signage

- If the primary entrance to commercial uses is from a parking lot, it may be necessary to place signage along the roadway, visible to motorists.
- For shared business signs, consistent text size, color, and font shall be used for all businesses on the shared sign.
- For free-standing signs, signage materials and design shall be proportional and compatible with the building architecture and the base shall be surrounded by landscaping in accordance with the Land Development Code.
- For building signage, each store shall have individual signage integrated within the building facade.



Context-sensitive pedestrian-oriented signage.



Signs that are incompatible with the existing context of historic downtown Kissimmee. These signs are often associated with economically challenged areas and do not contribute to building a unified streetscape character.

Inappropriate Signage

- Signage not permitted in the CRA includes commercial banner signs (except those permitted under section 14-2-158 of the Land Development Code), movable text or electronic message signs, signs with inflatable or movable parts, tall mast signage, overscaled awning signage, cabinets, and others deemed incompatible by the ARC.

Street landscaping design shall be used to define major circulation paths and building entrances and provide sun shading for pedestrians. Landscape treatments, including planting strips and street trees, shall be provided to create a comfortable separation between vehicular traffic and sidewalks, and to form a safe, intimate, and attractive environment for pedestrians.

Landscaping

- The base of a building shall be enhanced with landscaping or street trees to integrate the building with its surroundings and to soften the harsh lines of the architecture
- Highlighting significant areas of pedestrian activity, such as at intersections, with special landscaping treatment is recommended.

Screening

- Surface parking shall be screened from view using low walls and landscaping.
- Use landscaping to buffer between adjacent commercial and residential areas, or to screen mechanical equipment, storage or trash areas.
- Parking visible from the street shall be screened with evergreen landscaping. A solid wall or approved fencing with shrubs between the wall and the building shall be incorporated for screening. For additional details, please refer to the Private Development Standards, Volume II.



Significant areas of pedestrian activity should be highlighted and shaded with landscaping such as street trees.



Plantings along the edge of a foundation help to soften the edge.



Surface parking screened from view using landscaping and hedges.

Parking lots shall be placed at the rear of buildings rather than directly adjacent to the roadway. This configuration allows the buildings to be drawn to the street edge reducing walking distances and enlivening the streetscape. This also provides convenient building entry access from the sidewalk and transit stops.

Pedestrian paths

- There shall be direct and well-marked circulation between parking spaces and building entrances.
- Parking rows shall be organized perpendicular to building entries. This limits the number of aisle crossings and creates a clear, direct route for pedestrians.
- Parking areas shall integrate paved paths that are comfortably separated from the parking aisles.
- As with streetscapes, trees shall be provided to shade walkways.

Parking lot access

- Pedestrian alleys shall be provided as links between the street and parking area.
- New development shall provide a direct, unobstructed pedestrian access way from the public street to the building entrance.
- Pedestrian accessways shall generally be a minimum of 5 ft wide with pavement markings at any place it crosses with parking rows or service drives.

Lighting and Landscaping

- Trees and landscaping shall be used to break-up large expanses of surface parking, provide refuge for pedestrians, shade vehicles, and collect stormwater runoff (see Private Development Standards, Volume II and LDC for specific landscaping requirements).
- Effective lighting is critical in ensuring safe and secure parking areas. It is important to carefully calibrate and direct lighting within the parking area to minimize potential light pollution. Two primary ways of doing this are to: integrate more, smaller (in both height and intensity) lighting fixtures; or to provide light shields to direct all light downward towards the parking surface, eliminating light overflow to surrounding uses.



Well-marked circulation between parking spaces and building entrances



Pedestrian alleys provide unobstructed links between parking and the street.



Example of good parking lot lighting.



C. COURTHOUSE DISTRICT



III-C. COURTHOUSE DISTRICT

III-C.1. CHARACTER AND CONTENT

There are a significant number of residential conversion - homes converted into commercial office or other uses - within the CRA. In general, this is acceptable provided that the conversion respects the original residential character of the building and its site. Homes converted to other uses shall retain their historic form and residential character, and additions shall be made so that they have a residential architectural character that is harmonious with the main house.



III-C.2. FORM AND MASSING

The massing of houses in the CRA varies but can generally be described as the repetition of simple rectangular forms topped by pitched roofs. Although there is usually a main block form, smaller versions of this form are added to the back or sides, sometimes in response to adding on rooms or incorporating older homes. The Florida tradition of single story or 1-1/2 story bungalows is an often recognized type with strong local roots. New homes shall generally follow this traditional approach to building massing, and renovations/additions should respect the composition of masses in the original home.



Example of simple rectangular form typical in Kissimmee's CRA with an added garage and connecting room.

In new construction, massing and forms similar to those in the immediate vicinity shall be used. In most cases, this will be a simple form.

Outbuildings and Access

The use of outbuildings (garages, storage sheds) separate from the main building is part of traditional housing vernacular in Florida and is encouraged on lots that may accommodate them. These outbuildings should be composed and designed to harmonize with the main house. When properly done, the outbuildings help to reduce the scale of the main building and better integrate it with its site and with surrounding buildings. Parking structures should be set back from the street to de-emphasize automobile access.

Acceptable treatments for newly constructed garages are side or rear-entry, alley accessed or located in the rear of the lot.



Example of detached garage set back from the street and compatible with the architecture and materials of the main house



Example of an attached garage set back from the street and oriented for side access.



Incompatible example of a house where the garage is the dominant feature seen along the street.

Parking

To help retain the walkable quality of residential neighborhoods and streets in the CRA, all parking shall be accommodated to the rear or side for residential conversion properties, provided that it is screened from view from public roads through the use of compatible landscaping or low fencing. This allows buildings to be drawn to the streets edge, reinforcing a walkable environment.

Lighting, walkways and other site amenities needed for residential conversion properties should retain the scale and residential character of other similar elements in the neighborhood and should fit in with adjacent and nearby homes.

Parking visible from the street shall be screened with evergreen landscaping. Alternately, a solid wall or approved fencing with shrubs between the wall and the building shall be permitted.



Example of residential conversion with parking located to the rear and sides of the building.



Parking screened by landscaping on a residential street.



Parking is insufficient and should be located to the rear.

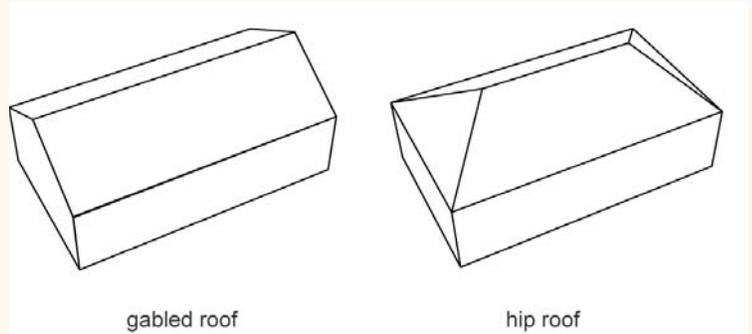
Roofs

The CRA has a diversity of roof types and forms that contribute to the visual interest of buildings. In general roofs are of simple massing and of several recognized types: single or multiple gable, hip roofs and central pitch roofs. Roofs on new buildings shall be compatible with these basic roof styles.

Roof pitch should be shallow, 12:12 pitch or lower. However, very shallow pitches, of 4:12 or shallower shall be avoided, except for porches.

Variable roof pitches on a building are often found in the CRA, and are permitted for buildings when done in response to a porch or room addition.

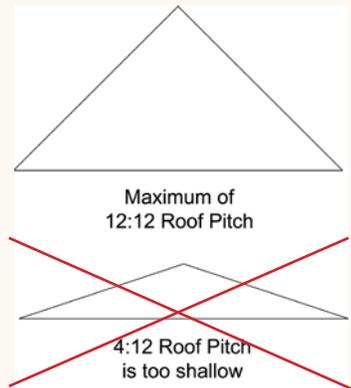
All roof styles may be enlivened by the use of dormers to add attic-level living space, as seen on many traditional houses locally.



gabled roof

hip roof

Example of typical Kissimmee roof types



Roof pitch should be a maximum of 12:12 , but roofs with slopes at 4:12 or flatter should be avoided in the CRA.



Traditional style dormers add light to the interior of a finished attic or sloped roof space.



Shed dormers may be used to add extra space and light to a finished attic space.

III-C.6. EXTERIOR MATERIALS

Exterior Materials

Exterior cladding and materials for buildings in the CRA are restricted to a few basic types: natural stucco, clapboard siding and shingles. In general cladding materials on new or converted homes should be kept to these simple types and brick should be used sparingly, reserved only for decorative portions of buildings.



A range of roof and siding colors can be seen among this group of houses along Royal Street.

III-C.7. COLORS

Colors

Color schemes shall take into account all the architectural elements of a building, including roof, siding, doors and trim. Color schemes shall be restrained and harmonious, as typical for traditional southern houses. Although white is the predominant siding color for traditional houses in the CRA, pale earth tones and muted colors are also appropriate for most situations.

Architectural trim colors should be cohesive throughout the architectural composition and colors chosen for outbuildings should be harmonious with the primary structure. Entryways, openings, trim and other architectural details should be highlighted with a change in texture and color. Colors should be compatible with other buildings in the area.

III-C.8. DOOR AND WINDOW OPENINGS

Door and Window Openings

Typically, residences in the CRA have a careful proportion of window and door openings to solid wall areas in their facades. On new, renovated, or converted homes, excessive window areas shall be avoided to keep from dominating the solid wall areas on the building face.

Window placement on homes in the CRA is frequently asymmetrical. However, window and door openings are usually symmetrical on one single piece of a building facade, such as a gable end, addition or outbuilding. Window placement on converted or new homes shall be compatible with traditional patterns of surrounding areas. Doorways should be highlighted with awnings, stoops, porches, walkways and other decorative elements.

Windows shall generally fit within typical local home types; single or multi-paned double hung sash. Decorative molding window trim and shutters are encouraged as methods for enlivening a facade.

Door and window openings shall continue to the sides or back of a facade if visible from the roadway. Corner lots, for example, shall include similar spacing, placement, style, and trim as windows on the front of the facade.



Well-proportioned ratio of window and door openings to solid wall areas. The windows and door are centered with respect to architectural features.



Decorative elements such as shutters or doorway side lights can enliven a facade.



Example of facade lacking sufficient window openings. Additionally, the doorway is hidden from view. Doorways should be prominent features on a building facade.



Door and window treatment should continue to the side of all buildings located on a corner lot.

III-C.9. PORCHES AND DECKS

Porches and Decks

Porches, especially covered porches are part of the local vernacular architecture and are encouraged on all homes. They help to scale down the mass of a house and assist in cooling the building in warm weather.

Decks and boardwalks help to extend the indoor space into the outdoors but shall be restrained and simple in design and located away from views from the street to avoid overwhelming the architecture of the building.



Example of single and double-storey porches encouraged in the CRA.

III-C.10. FENCES AND WALLS

Fences and Walls

Fences shall be comprised of durable materials including wood, iron and PVC. Front yard fences shall be used to define the edge of one's property and shall not be used for visual privacy. No chain link fences shall be allowed in front yards or between building facade and adjacent street. Chain link fences shall be vinyl coated in black or green. Low walls comprised of materials compatible with those of the main building may also be used.



Example of a low, wooden fence used to define the edge of a property. A taller privacy fence, set back from the street and built in compatible materials and colors to the house, is also being used to screen the back yard.



Chain link fencing should not be used on any public roadways and is deemed incompatible with the architectural intent of the district.

Outdoor Equipment Screening

Heating, ventilation and air conditioning, solar panels or battery storage and other equipment that must be stored outside shall be carefully integrated into the architectural composition of the site. No window mounted air conditioners shall be allowed for new construction or changes in a building's use. Outdoor equipment shall be screened with harmonious architectural elements (allowing for adequate ventilation) or by landscaping.

The location and planning for this equipment should be considered early in the planning process to allow for it to be smoothly integrated into the overall design.

Landscaping

Private landscaping can be used to frame a doorway, highlight a pathway, soften the hard edge of the foundation line, provide shade, color, or ornament to a garden, or as a method to screen unsightly elements such as outdoor mechanical equipment or parking.

Landscaping shall be maintained and trimmed back so that it doesn't become overgrown. The height of shrubs located close to a building shall not exceed the height of the lower sill of any window.

Foundations lifted several inches above ground level are typical in Florida. These spaces between the ground and the base of the building shall be screened with durable materials including painted lattice or brick, wood paneling, stucco or stone. Additionally, low shrubs shall be planted along this foundation line to soften the architectural edge.



Example of trellis archway adorned with colorful, flowering vines that frame the front door and walkway.



Example of houses with overgrown landscaping.



Example of house with screening and planting helping to ground and soften the base of the building



Example of house with no foundation screening or planting.

Signage

Appropriate signage in the Courthouse District includes wall signs, projecting signs, awning signs, and freestanding signs. All signs shall be scaled to meet the standards set forth in the Private Development Standards (Volume II).

Wall signs shall be appropriately scaled to be visible by the pedestrian or from a slower moving automobile.

All signs identifying businesses located within a single establishment should maintain a consistent look and feel. The font color and size, the size of a logo, and the sign size, color, and materials should be standardized. Additionally, the colors, materials, and placement of a sign shall be compatible with the building and its architecture. Finally, residential conversions located adjacent to residential uses shall respect their neighbors and use smaller, minimal signage.

Inappropriate Signage

Signage not permitted in the CRA includes commercial banner signs (except those permitted under section 14-2-158 of the Land Development Code), movable text or electronic message signs, signs with inflatable or movable parts, tall mast signage, overscaled awning signage, cabinets, and others deemed incompatible by the ARC.



Smaller wall signs identify the businesses sharing this building. A larger sign located above the awning identifies the building to passing cars.



Free-standing post signage identifying multiple businesses uses consistency of color, font, and signage size to create a harmonious look.



Signs that are incompatible with the existing context of the Kissimmee CRA. These signs are often associated with economically challenged areas and do not contribute to building a unified streetscape character.

Multi-Family Housing

Multi-family housing in the CRA includes attached townhouses, multi-story condos, and duplex residences. For all new multi-family housing, the guidelines for detached housing and the previous section on residential conversions shall apply.



Examples of compatible multi-family attached and duplex housing.



D. NEIGHBORHOOD DISTRICT



III-D NEIGHBORHOOD DISTRICT

III-D.1. CHARACTER AND CONTEXT



No particular style of architecture is mandated for the CRA. However, architectural designs need to be sensitive to the vernacular and traditional architecture found in central Florida. The following are some more general characteristics of traditional home architecture in Kissimmee that shall be used in designing all new homes and renovating or adding to existing homes in the CRA.

III-D.2. FORM AND MASSING

Form and Massing

The massing of houses in the CRA varies but can generally be described as the repetition of simple rectangular forms. Although there is usually a main block form, smaller versions of this form are added to the back or sides, sometimes in response to adding on rooms or incorporating older homes. The Florida tradition of single story or 1-1/2 story bungalows is an often recognized type with strong local roots. New homes shall generally follow this traditional approach to building massing, and renovations/additions should respect the combination of masses in the original home.

In new construction, use massing and forms similar to those in the immediate vicinity.



Example of simple rectangular form typical in Kissimmee's CRA with an added garage and connecting room.

Outbuildings and Parking

The use of outbuildings (garages, storage sheds) separate from the main house is part of traditional housing vernacular in Florida and is encouraged on lots that may accommodate them. These outbuildings shall be composed and designed to harmonize with the main house. When properly done, the outbuildings help to reduce the scale of the main house and better integrate it with its site and with surrounding buildings. Parking structures shall be set back from the street to de-emphasize automobile access.

Acceptable treatments for newly constructed garages are side or rear-entry, alley accessed or located in the rear of the lot.



Example of detached garage set back from the street and compatible with the architecture and materials of the main house



Example of an attached garage set back from the street and oriented for side access.



Incompatible example of a house where the garage is the dominant feature seen along the street.

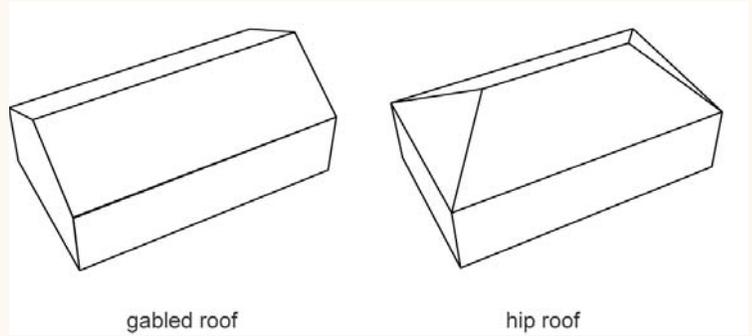
Roofs

The CRA has a diversity of roof types and forms that contribute to the visual interest of the homes. In general roofs are of simple massing and of several recognized types: single or multiple gable, hip roofs and central pitch roofs. Roofs on new homes shall be compatible with these basic roof styles.

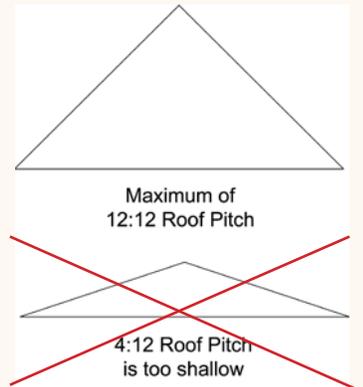
Roof pitch should be shallow, often 12:12 pitch or lower. However, very shallow pitches, of 4:12 or shallower shall be avoided, except for porches.

Variable roof pitches on a home are often found in the CRA, and are permitted for homes when done in response to a porch or room addition.

All roof styles may be enlivened by the use of dormers to add attic-level living space, as seen on many traditional houses locally.



Example of typical Kissimmee roof types



Roof pitch should be a maximum of 12:12 , but roofs with slopes at 4:12 or flatter should be avoided in the CRA.



Traditional style dormers add light to the interior of a finished attic or sloped roof space.



Shed dormers may be used to add extra space and light to a finished attic space.

III-D.5. EXTERIOR MATERIALS

Exterior Materials

Exterior cladding and materials for buildings in the CRA are restricted to a few basic types: natural stucco, clapboard siding and shingles. In general cladding materials on new or converted homes should be kept to these simple types and brick should be used sparingly, reserved only for decorative portions of buildings.



A range of roof and siding colors can be seen among this group of houses along Royal Street.

III-D.6. COLORS

Colors

Color schemes shall take into account all the architectural elements of a building, including roof, siding, doors and trim. Color schemes shall be restrained and harmonious, as typical for traditional southern houses. Although white is the predominant siding color for traditional houses in the CRA, pale earth tones and muted colors are also appropriate for most situations.

Architectural trim colors should be cohesive throughout the architectural composition and colors chosen for outbuildings should be harmonious with the primary structure. Entryways, openings, trim and other architectural details should be highlighted with a change in texture and color. Colors should be compatible with other buildings in the area.

III-D.7. DOOR AND WINDOW OPENINGS

Door and Window Openings

Typically houses in the CRA have a careful proportion of window and door openings to solid wall areas in their facades. On new homes, excessive window areas shall be avoided to keep from dominating the solid wall areas on the building face.

Window placement on homes in the CRA is frequently asymmetrical. However, window and door openings are usually symmetrical on one single piece of a building facade, such as a gable end, addition or outbuilding. Window placement on new homes shall be compatible with traditional patterns of surrounding areas. Doorways should be highlighted with awnings, stoops, porches, walkways and other decorative elements.

Windows shall generally fit within typical local home types; single or multi-paned double hung sash. Decorative molding window trim and shutters are encouraged as methods for enlivening a facade.

Door and window openings shall continue to the sides or back of a facade if visible from the roadway. Corner lots, for example, shall include similar spacing, placement, style, and trim as windows on the front of the facade.



Well-proportioned ratio of window and door openings to solid wall areas. The windows and door are centered with respect to architectural features.



Decorative elements such as shutters or doorway side lights can enliven a facade.



Example of facade lacking sufficient window openings. Additionally, the doorway is hidden from view. Doorways should be prominent features on a building facade.



Door and window treatment should continue to the side of all buildings located on a corner lot.

III-D.8. PORCHES AND DECKS

Porches and Decks

Porches, especially covered porches are part of the local vernacular architecture and are encouraged on all homes. They help to scale down the mass of the house and assist in cooling the house in warm weather.

Decks and boardwalks help to extend the living space into the outdoors but shall be restrained and simple in design and located away from views from the street to avoid overwhelming the architecture of the house.



Example of single and double-storey porches encouraged in the CRA.

III-D.9. FENCES AND WALLS

Fences and Walls

Fences shall be comprised of durable materials including wood, iron and PVC. Front yard fences shall be used to define the edge of one's property and shall not be used for visual privacy. No chain link fences shall be allowed in front yards or between building facade and adjacent street. Chain link fences shall be vinyl coated in black or green. Low walls comprised of materials compatible with those of the main building may also be used.



Example of a low, wooden fence used to define the edge of a property. A taller privacy fence, set back from the street and built in compatible materials and colors to the house, is also being used to screen the back yard.



Chain link fencing should not be used on any public roadways and is deemed incompatible with the architectural intent of the district.

Outdoor Equipment Screening

Heating, ventilation and air conditioning, solar panels or battery storage and other equipment that must be stored outside shall be carefully integrated into the architectural composition of the site. No window mounted air conditioners shall be allowed for new construction or changes in a building’s use. Outdoor equipment shall be screened with harmonious architectural elements (allowing for adequate ventilation) or by landscaping.

The location and planning for this equipment shall be considered early in the planning process to allow for it to be smoothly integrated into the overall design.

Landscaping

Private landscaping can be used to frame a doorway, highlight a pathway, soften the hard edge of the foundation line, provide shade, color, or ornament to a garden, or as a method to screen unsightly elements such as outdoor mechanical equipment or parking.

Landscaping shall be maintained and trimmed back so that it doesn’t become overgrown. The height of shrubs located close to a building shall not exceed the height of the lower sill of any window.

Foundations lifted several inches above ground level are typical in Florida. These spaces between the ground and the base of the building shall be screened with durable materials including painted lattice, brick, wood paneling, stucco or stone. Additionally, low shrubs shall be planted along this foundation line to soften the architectural edge.



Example of trellis archway adorned with colorful, flowering vines that frame the front door and walkway.



Example of houses with overgrown landscaping.



Example of house with screening and planting helping to ground and soften the base of the building



Example of house with no foundation screening or planting.

III-D.11. MULTI-FAMILY

Multi-Family Housing

Multi-family housing in the CRA includes attached townhouses, multi-story condos, and duplex residences. For all new multi-family housing, the guidelines for detached housing and the following section on residential conversions shall apply.



Examples of compatible multi-family attached and duplex housing.

III-D.12. PRIVATE SIGNAGE

Signage

Appropriate signage in the Neighborhood District includes wall signs, projecting signs, awning signs, and freestanding signs. All signs shall be scaled to meet the standards set forth in the Private Development Standards (Volume II).

Wall signs shall be appropriately scaled to be visible by the pedestrian or from a slower moving automobile.

All signs identifying businesses located within a single establishment should maintain a consistent look and feel. The font color and size, the size of a logo, and the sign size, color, and materials should be standardized. Additionally, the colors, materials, and placement of a sign shall be compatible with the building and its architecture. Finally, residential conversions located adjacent to residential uses shall respect their neighbors and use smaller, minimal signage.



Free-standing post signage identifying multiple businesses uses consistency of color, font, and signage size to create a harmonious look.

Inappropriate Signage

Signage not permitted in the CRA includes commercial banner signs (except those permitted under section 14-2-158 of the Land Development Code), movable text or electronic message signs, signs with inflatable or movable parts, tall mast signage, overscaled awning signage, cabinets, and others deemed incompatible by the ARC.



Signs that are incompatible with the existing context of the Kissimmee CRA. These signs are often associated with economically challenged areas and do not contribute to building a unified streetscape character.

